

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 4th May 2021

Report of
Head of Planning

Contact Officer:
Andy Higham : 0208 132 0711
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Ward:
Upper Edmonton

Ref: 20/03821/RM

Category: Major

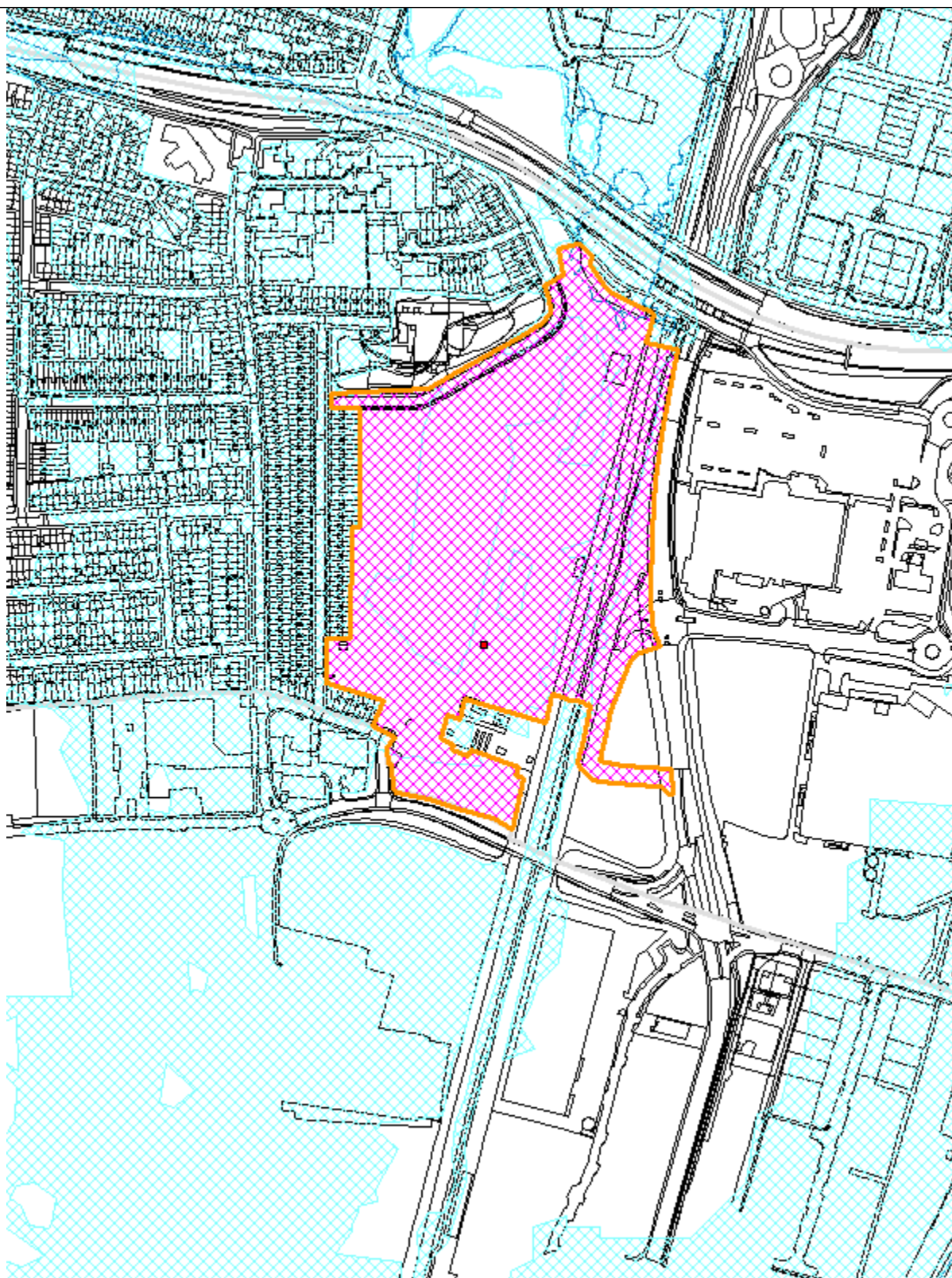
LOCATION: Meridian Water, Willoughby Lane And Meridian Way, London N18

PROPOSAL: Details of Reserved Matters (scale, layout, external appearance and landscaping) for 300 units in respect Plots E and A (Phase 1a) arranged across buildings from 3 to 12 storeys in height pursuant to condition 5 of planning permission 16/01197/RE3 dated 10 July 2017 for development of Phase 1 of Meridian Water comprising up to 725 residential units, new station building, platforms and associated interchange and drop-off facilities including a pedestrian link across the railway, a maximum of 950 sqm retail (A1/A2/A3), floorspace, a maximum of 600 sqm of community (D1) floorspace, a maximum of 750 sqm of leisure (D2) floorspace, associated site infrastructure works including ground and remediation works, roads, cycle-ways and footpaths, utility works above and below ground, surface water drainage works, energy centre and associated plant, public open space and childrens play areas, and various temporary meantime uses without structures (landscaping and open space). Application includes details pursuant to condition 29 (green procurement plan), condition 63 (biodiverse roof details), condition 65 (Energy statement), condition 86 (wind assessment), condition 71 (cycle parking details) and 73 (car parking details) of the above permission.

Applicant Name & Address:
Vistry Partnerships JV N017 LLP, Broadway
Chambers, 2 Broadway, Stratford, E15 4QS

Agent Name & Address:
Mr Andy Tuohy, CBRE Ltd
Henrietta House, Henrietta Place, London
W1G 0NB

RECOMMENDATION: The Reserved Matters application be APPROVED subject to conditions, with delegated authority granted to the Head of Development Management and/or Planning Decisions Manager to agree the final wording of conditions and that conditions 29, 63, 65, 86, 71 and 73 be discharged.



1.0 Note for Members

- 1.1 The application has been brought to the Planning Committee as it constitutes a major development scheme involving Meridian Water Phase 1 site, land owned by the Council.

2.0 Recommendation

- 2.1 The Reserved Matters application be APPROVED subject to conditions, with delegated authority granted to the Head of Development Management and/or Planning Decisions Manager to agree the final wording of conditions and that conditions 29, 63, 65, 86, 71 and 73 be discharged.

Conditions

1. Approved Plans:
2. Larger scale details of external façade elements
 - Windows and reveals;
 - Parapets;
 - balconies (inset and external) and roof terraces;
 - gallery handrails;
 - parts of the façade where there is a material change (e.g. from brick to concrete or secondary material/type of bonding);
 - aluminium panels to Blocks 2.1 and 2.3;
 - lobby entrance frames;
 - louvres and doors; and
 - defensible space handrail and low level wall
3. Details of compliance with Secured by Design:

Prior to the commencement of above ground works of each building, or part of a building details shall be submitted to and approved in writing by the local planning authority to demonstrate that such building or such part of a building can achieve 'Secured by Design' Accreditation. The development shall only be carried out in accordance with the approved details.

Prior to the first occupation of each building or part of a building or use, 'Secured by Design' certification shall be obtained for such building or part of such building or use
4. Details of flood resilience measures
5. Details of landscaping – planting specification, density and location of species, across the phase
6. Larger scale detail of surface treatments and edges where meet existing public highway
7. Details of sculptural elements in southern pocket park
8. Details of roof treatment, landscaping, enclosure and plant to Block A terrace deck
9. Details of the arrangement, landscape, ventilation grills, enclosures and furniture within Block A podium deck
10. Details of gate to podium car park

- 11 Full details of all play equipment to be provided across the phase.
- 12 Details of the composition and materiality of Block E1.1

3.0 Executive Summary

- 3.1 Outline planning permission (OPP) was granted for Meridian Water Phase 1 in July 2017 (Ref:16/01197/RE3) for up to 725 residential units, commercial floorspace, public open space and children's play areas and a new station building. This application comprises reserved matters pursuant to this outline planning permission and must be assessed in the context of the parameters established through that permission.
- 3.2 The outline planning permission has already established:
 - the maximum quantum of development (725 residential units, 950sq.m commercial space, 600 sq.m community space, 750sq.m leisure space)
 - the development plots for the site;
 - the main points of access to the site (vehicular access from Leaside Road, Kimberley Road (north) and Albany Road with additional pedestrian/cycle only access points from Kimberley Road (south) and Willoughby Lane);
 - the road layout within the site;
 - the location and quantum of open space;
 - the height parameters for buildings; and
 - the broad location and quantum for commercial and community space.
 - a design code that sets the design framework within which the detailed design of buildings come forward
- 3.3 The outline planning permission was also accompanied by a draft S106 Agreement that set out the obligations for the quantum of affordable housing to be delivered in this phase. This is a minimum of 25% by unit number and 35 % by habitable room, comprising 40% affordable rent and 60% intermediate. The draft S106 agreement also includes clauses to inform the bedroom mix of the affordable units.
- 3.5 Since the outline planning permission was granted, the Council has entered into a partnership with Vistry Partnerships and it is they who are the applicant for this submission, albeit the Council remains as landowner. Vistry have entered a Development Agreement (DA) with the Council and through that have a commitment to provide 50% affordable housing across the whole of Phase 1.
- 3.6 The site is to come forward in two phases, 1A and 1B. This application relates to Phase 1A and comprises reserved matters (scale, layout, external appearance and landscaping) for the first 300 units, contained in Plots A and E, and arranged across buildings from 3 to 12 storeys in height. The application also includes details pursuant to Condition 29 (Green procurement plan), Condition 63 (biodiverse roof details), Condition 65 (Energy Statement), Condition 86 (Wind assessment), Condition 71 (cycle parking details) and 73 (car parking details) of the above permission. The application is also accompanied by an affordable housing delivery plan setting out the programme for the delivery of the affordable housing across the site.
- 3.7 The application is recommended for approval for the following reasons:

- The proposal will see the early delivery of affordable housing with 272 of the 300 units within this phase being affordable (91%), 118 being London Affordable Rent and 154 shared ownership
- This phase will see the delivery of 83 x 3 bed + family units (28%) , all of which are affordable (60 London Affordable Rent and 23 shared ownership)
- The development will deliver a good quality accommodation and amenity space, including one of the 3 parks/open spaces to be delivered across the Phase 1 site as a whole.
- The proposed scale, layout, appearance, and landscaping is considered fully compliant with the revised design codes and parameter plans proposed under application ref: 20/03774/NMA pursuant to the approved outline planning permission 2016/01197/RE3. The proposed details would result in a high-quality development with an attractive and well-designed public realm.
- The proposed development, as detailed in the reserved matter submission, will not result in additional environmental impacts above those in the 2016 EIA/Environmental Statement (which accompanied the outline planning permission) and subsequent addendums with regards to amenity, noise and vibration, air quality, socio economic, townscape, transport, waste, archaeology, sustainability, crime, flood risk, drainage and water run off, microclimate, ecology or ground conditions.

4.0 Site and Surroundings

- 4.1 Meridian Water occupies a strategic location within the London – Stanstead – Cambridge growth corridor. Meridian Water lies to the south west corner of the London Borough of Enfield between Edmonton, Tottenham and Walthamstow. It sits next door to the Lee Valley Regional Park and benefits from the River Lee and Pymmes Brook passing through the site. The site has excellent road networks and is bounded by the North Circular Road (A406) and Meridian Way. The new railway station has now been opened at Meridian Water providing access to Central London.
- 4.2 The Phase 1 site will be split into two phases, Phase 1A (the subject of this application) and Phase 1B. Phase 1A is located to the west of the wider site. The nearest residential properties to the site lie to the West in Kimberley Road and South in Willoughby Lane. To the East is the Greater Anglia Railway Line and the new Meridian Water station. To the North, Meridian Angel Primary School.

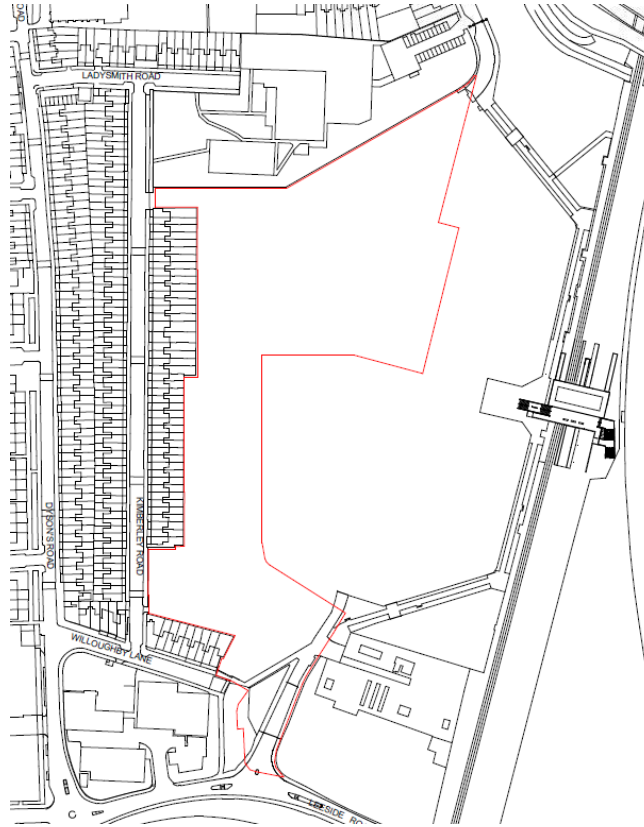


Figure 1 Site Location Plan

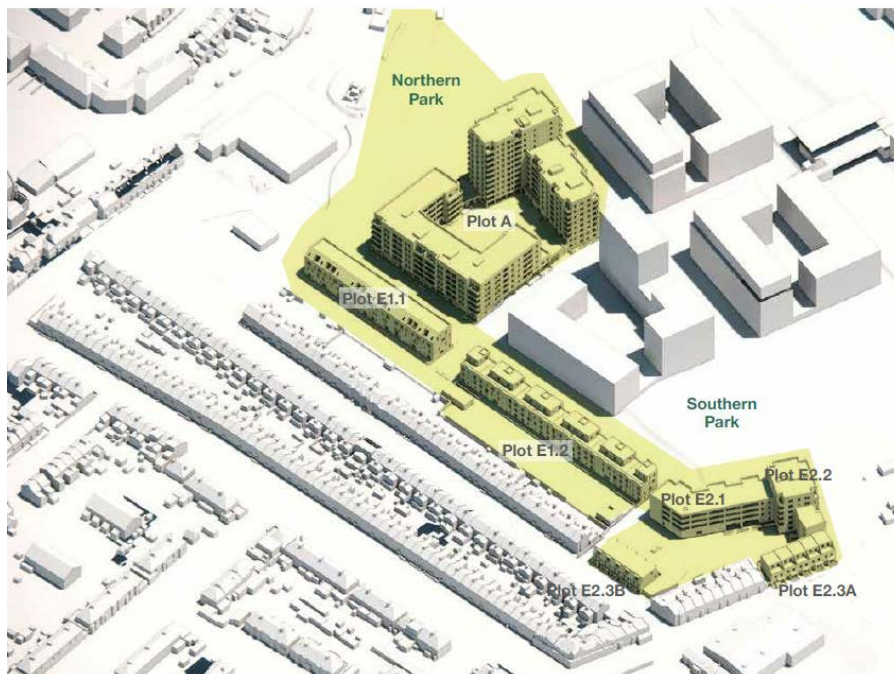
5.0 Proposal

- 5.1 This application comprises Reserved Matters of scale, layout, external appearance and landscaping for the first 300 units in respect of Plots A and E (Phase 1A) arranged across buildings from 3 to 12 storeys in height pursuant to condition 5 of planning permission 16/01197/RE3.
- 5.2 The proposed units range from studios to four bed and comprise a mix of affordable rent (118 units/39.3%), shared ownership (154 units/51.3%) and private market sale (28 units/9.3%). Given the bedroom mix proposed across all tenures the quantum of affordable rent accommodation by habitable room equates to 44%, with intermediate equating to 48%.
- 5.3 The housing mix proposed is as follows:

	Affordable Rent	Intermediate	Market	Total
Studio			4	4
1B2P	45	34	4	83
2B3P		47	14	61
2B4P	21	42	6	69
3B4P	0	5	0	5
3B5P	25	18	0	43
3B6P	2	2	0	4
4B5P	0	0	0	0
4B6P	17	1	0	18
4B7P	0	5	0	5

4B8P	8	0	0	8
Total	118 (39.3%)	154 (51.3%)	28 (9.3%)	300

- 5.4 The placement of the blocks A and E follow the parameters established in the outline planning permission.



- 5.5 Block A comprises buildings ranging from 6 to 12 storeys in height surrounding a central podium providing communal amenity space for residents. Each unit would also have access to a private balcony or terrace on the podium deck. It contains a total of 196 units across a range of private market sale, shared ownership and affordable rent tenures. Forty six parking spaces are accommodated in an undercroft parking area beneath the podium deck. Cycle stores are integrated into the blocks and accessible via the parking area or residential cores. The buildings would be finished in brick
- 5.6 Block E is broken into 6 distinct blocks – E1.1, E1.2, E2.1, E2.2 , E2.3A and E2.3B . Blocks E 1.1 and 1.2 comprise a total of 46 units affordable rent units and extend to a maximum of 4 storeys in height. Blocks E 2.1, 2.2 and 2.3A mark the entrance to the site from Leaside Road. They provide in total 53 units of which 26 are affordable rent and 28 shared ownership. Blocks E2.1 and 2.2 range from 4-6 storeys in height. Block E 2.3A completes the street in Willoughby Lane and presents a terrace of 5 x 2/3 storey houses. Block E2.3B is an infill plot completing the Kimberley Road street and comprises a terrace of 5x 2 storey affordable rent houses, with accommodation in the roof space.
- 5.7 This phase also makes provision for the northern park, sited immediately north of Block A. This park will provide the main play area for the development, providing opportunities for children of all ages, including a wheel park (5 years +), adventure play (5+), and young children's play (1+).
- 5.8 An additional pocket park space is created at the entrance to the site from Leaside Road and Willoughby Lane. This is a more informal space with tree planting and

flowering meadow beneath. Sculptural elements are to be accommodated in this space, referencing the gas holders that used to stand on the site. A further small pocket space is provided between blocks E1.1 and E 1.2 providing opportunity for growing space.

- 5.9 With the exception of the spaces provided beneath the podium to Plot A, all car parking is provided on street in the form of parallel parking bays. Parking bays are broken at intervals with tree planting.
- 5.9 In accordance with the requirements of the draft S106 Agreement, the application is accompanied by an affordable housing delivery plan
- 5.7 Several conditions associated with the reserved matters application are proposed to be discharged in parallel with the application as follows:
- 29- Green Procurement Plan
 - 65 - Energy Statement
 - 71- Cycle Parking Details
 - 73- Car Parking Details
 - 63- Green and Brown Roof Details
 - 86- Wind Assessment

6.0 Relevant Planning History

- 6.1 16/01197/RE3 - Outline planning permission for Meridian Water Phase 1 was approved on 10th July 2017 for the development of the site comprising up to 725 residential units, new station building, platforms and associated interchange and drop-off facilities including a pedestrian link across the railway, a maximum of 950 sqm retail (A1/A2/A3), floorspace, a maximum of 600 sqm of community (D1) floorspace, a maximum of 750 sqm of leisure (D2) floorspace, associated site infrastructure works including ground and remediation works, roads, cycle-ways and footpaths, utility works above and below ground, surface water drainage works, energy centre and associated plant, public open space and children's play areas, and various temporary meantime uses without structures (landscaping and open space). OUTLINE APPLICATION - ACCESS ONLY. An Environmental Statement, including a non-technical summary, also accompanied the application in accordance with the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (as amended by the 2015 Regulations).
- 6.2 A draft S106 Agreement appended to the permission secures the following:
- Affordable housing (a minimum 25% by unit and 35% by habitable room, of which 40% to be affordable rent and 60% intermediate)
 - Affordable housing mix parameters
 - Limitations on delivery of market housing until affordable housing delivered
 - Viability reviews (between occupation of 400 and 450th unit) and on practical completion of 650th unit
 - Education contribution
 - Off site open space enhancement contribution
 - Controlled parking zone contribution
 - Connection to decentralised energy network
 - Agreement to specification for delivery of community facility
 - Employment and skill strategy

- Highway contributions
 - Alternative public transport provision in event of rail improvements not being delivered
 - Sustainable transport measures for each residential unit (value equivalent to £225 per unit)
 - Open space and public realm management strategy
 - Travel plan
- 6.2 One of the conditions of the planning permission requires the completion of the draft S106 in largely the same form as appended to the planning permission prior to the commencement of development on site.
- 6.3 All matters were reserved except for access to the public highway. Condition 5 of the outline consent requires the submission of a reserved matters application (RMA) covering layout, scale, appearance and landscaping prior to the commencement of development of any individual phase.
- 6.4 The Council and Network Rail have progressed with implementing the new station and associated temporary public realm works to the east of Phase 1 through application references 17/02952/RM, 17/03873/RM and 18/03770/RM.
- 6.5 A non-material amendment application seeking minor amendments to the wording of a number of the planning conditions was approved on 26th October 2020 (Ref: 20/02944/NMA). This amended the wording of Condition 14 (Public realm strategy), 23 (Materials), 27 (Telecommunications infrastructure), 52 (Details of open space), 53 (Play space strategy), 57 (Meanwhile use strategy) and 74 (Arrangements of paths and roads) and was required as it was known at this point that the site would be developed in phases and the amendment enabled the submission of the relevant details alongside the reserved matters for the relevant phase.
- 6.6 A further non-material amendment application was submitted alongside the current reserved matters application to allow changes to the parameter plans and design code to include the following:-Ground floor use, Development Zones (E),Maximum heights for plots E1.2, 1.2, 2.1, Protected Frontages for plots E1.2, E2, A, Privacy buffers and distancing (defensible space plot A) and Public Realm and Land Use.(Ref: 20/03774/NMA) . The changes proposed were modest and arose as a consequence of the more detailed design work undertaken to inform the current application.
- 6.7 17/05006/RE4- Planning permission was granted in March 2018 for the erection of a Pressure Reduction Station (PRS) with associated parking, landscaping and access from Albany Road in the north part of the Phase 1 site. This facility is linked to the decommissioning of the existing operational PRS located to the south east of the Phase 1 site. Work has commenced on site in connection with the delivery of this facility.
- 6.8 Prior to the submission of the outline planning application for the Phase 1 development, a number of applications were submitted for the remediation of contamination soils and shallow ground water on the site, linked to its former use a gas works, together with the removal of buried structures. Permission was granted for these works in November 2015 (Ref:15/04173/RE4). These works have been overseen by the Council and have now been largely completed. The remainder of the remediation works are to be completed by Vistry. The terms of the outline planning permission require remediation for the phase to be completed prior to occupation of the relevant phase.

7.0 Consultation

7.1 Pre application consultation

7.1.1 The applicant has undertaken pre-application consultation with the local community (4781 addresses), elected members and community stakeholders. This took the form of letter distribution, consultation invitation newsletter and emails to local stakeholders, 3 focus group meetings with local stakeholders and a public webinar exhibition and follow up emails to attendees. The applicant has advised that the key issues that arose through the pre-application consultation were:

- Level of affordable housing
- Design of non- residential spaces
- Whether the homes will be freehold or leasehold
- How to get on housing waiting list
- Impact of construction on school children and residents
- Anti social behaviour issues

Design Review Panel

7.1.2 A total of 4 Design Review Panels have taken place to review the proposals for the whole of the Phase 1 site, including Phase 1B which is not yet the subject of an application, in order to ensure the site is considered holistically. However, only the first 2 included a review of Phase 1A as the submission is as reserved matters pursuant to parameters established under the outline planning permission. The comments are summarised as:

- Supportive of the overall layout which proposes an east-west route from the station, but consider this could be undermined if connectively beyond the red line site cannot be secured.
- Support the additional pedestrian link between E1 and E2. This will affect desire lines to the station and the park (within Phase 1B) should accommodate this.
- Support the overall the landscape principles. A wild character in line with Lower Lee Valley is encouraged.
- The approach to the 'E' blocks is welcome, particularly the inclusion of a diverse range of architects that are bringing a fresh perspective
- They questioned the extent of the proposed Block E communal garden and recommended investigating placing parking spaces in part of this area in order to reduce the amount of on street parking, improve the attractiveness of the street and their usability as play streets
- Recommended exploring increasing the height of E2.1/2.2
- Concerned about lack of dedicated cycle routes and the approach to shared surface for vehicle and cycle traffic across the phase as a whole
- The new road parallel to Kimberley Road is laid out with parking and there are concerns of traffic dominance, undermining the residential character.
- Turning radii for large vehicle access is questioned as tightening these would allow for the residential character and landscaping of streets to contribute to the wilding character
- Maximise amount of dual aspect units
- Double height entrance spaces encouraged on tall buildings
- The revision of the parameter plan for Block E1.1 is supported.

- Refuse stores in E1.2 could be better placed at the end of the blocks rather than tucked next to the entrance
- Size of the communal gardens to E Blocks questioned and exposed rear fences to adjacent properties are a concern in terms of security
- Wheelchair units should not be concentrated in a single block and a dispersed approach is recommended

Officer comment: Following extensive pre-application discussions and DRP's review, the scheme evolved and the following issues raised by the DRP have been addressed within this submission;

- *Plot E Height and massing – The height of these blocks to the south has been increased to mark the entrance to the site.*
- *Plot A – The taller element on Plot A was moved to the north east corner to mark the northern park and also the key north-south route towards the station*
- *Dual aspect units increased beyond the 60% requirement set out in the design code to 70%*
- *Double height entrance spaces provided.*
- *Wheelchair units dispersed across block*

There are other issues that the DRP commented on that it has not been possible to address in the context of the outline permission parameters and having regard to the consequential impacts

7.2 Statutory and non- statutory consultees

Traffic and Transport:

7.2.1 Traffic and Transportation raise no objections.

SuDS

7.2.1 The SUDs officer has advised that the landscaping details should not be discharged as a SUDs strategy has not yet been provided. The SUDs strategy should be integrated into the public realm and landscaping strategy.

Officer comment: There is a separate condition (condition 43) attached to the outline planning permission that requires the submission of a sustainable drainage strategy for the site. The information necessary to discharge this condition has not yet been submitted. It has been suggested to the applicant that the SUDs details be submitted for consideration alongside the landscaping information forming part of this submission. However, they are not in a position to provide this information at this stage. Given this, they have acknowledged that if to achieve an acceptable sustainable drainage strategy, amendments are required to the landscaping details forming part of this submission, then a revised submission may need to be made.

7.2.2 With respect to the finished floor levels of the development as proposed and the risk of flooding, the SUDs officer advises that all residential buildings will have a Finished Floor Level (FFL) set at least 300mm above the 1 in 100 year plus 25% climate change flood event apart from Plots E2, as outlined in the 2016 FRA, with the lowest FFLs set at 10.575mAOD.

7.2.3 While this has been highlighted as being 715mm below the 1 in 100 year plus 25% climate change flood event, the proposed FFLs were deemed acceptable to the Environment Agency. This is because:

- These particular plots are adjacent to existing homes, and therefore the levels must tie in closely with the finished levels of the existing buildings architecturally
- Plot E2 is located in Flood Zone 2 with a <1% annual probability of flooding, and therefore is very unlikely to flood frequently
- Based on up to date modelling, the flood level for a 1 in 100 year plus 35% climate change event is 10.77mAOD, therefore the flood depth for the building(s) with the lowest FFL would be up to 200mm. This is within the “Very Low Hazard Caution” level according to FD2320, and is therefore classified as “safe”
- Damage caused by this level of flooding can be mitigated with flood resistant and resilient techniques, and a dry escape route will be provided for all of these units. Consequently, these elements can be conditioned

7.2.4 A condition is recommended regarding flood resilience measures.

Housing

7.2.5 The Council as a Strategic Housing Authority supports this application on balance it secures the delivery of a large proportion of affordable housing. It is understood that there is a contractual requirement for Vistry to have secured permission for 300 homes in this Reserved Matters Application which is part of the wider ‘Meridian One’ scheme, and a further detailed planning application will be submitted for Phase 1b and circa 600-700 homes. Across both applications the Council as Strategic Housing Authority will need to be satisfied that the housing mix is acceptable.

7.2.6 The Reserved Matters for Phase 1a is deemed to be acceptable and is therefore supported. However, an uplift in family accommodation in the Phase 1b application will be required so that the overall ‘Meridian One’ scheme is meeting housing need.

7.2.7 This Reserved Matters application includes 118 homes for London Affordable Rent which are considered affordable to those in housing need on the council’s housing register. The significant proportion of 4-bed LAR units which are to be delivered early in Plot E1 (duplexes) is welcome. It is however noted that there is a concentration of LAR 1-bed units in Plot A and Block E2 apartment blocks. In the subsequent detailed planning application for Phase 1b which covers Plots B, C and D, the Council would expect that no further 1-bed units are provided, with an emphasis on providing 2-bed and 3-bed accommodation. The provision of LAR 2-bed units which are entirely 2b4p is welcome however there remains a need for a greater number of 3b6p units.

7.2.8 The Meridian One scheme contractually must provide 50% affordable housing and 25% London Affordable Rent housing which is a significant uplift from the original Outline Planning Permission granted in 2017 for 725 homes and 25% affordable housing and 75 at Affordable Rent.

7.2.9 The Council has secured grant for the provision of affordable housing and ensuring early delivery will be necessary to ensure the scheme overall remains viable. Therefore, on balance the Council as Strategic Housing Authority supports this Phase 1A Reserved Matters Application given the context however the Phase 1B new detailed planning application will need to evidence that it better meets the Council’s existing housing need

Commercial Waste Services

- 7.2.10 The Commercial Waste team raised a number of detailed issues about the waste strategy submitted. These have now been addressed through the submission of revised drawings.

Energetik

- 7.2.11 Whilst the applicant has confirmed that they intend to connect to the Energetik heat network, they have not submitted the technical design criteria required by the Council's SPD for Decentralised Energy Networks. A technical information pack is required to be submitted in accordance with this SPD at RIBA Stage 3 (usually achieved at the detailed planning submission stage).

Officer comment: The Reserved Matters submission under consideration is focused on the design, layout and appearance of buildings and the public realm and is not required to include the technical specification to connect to the heat network. The draft S106 requires the developer to provide a DEN strategy prior to the commencement of development and it is through this process that any technical specification can be agreed.

Environment Agency

- 7.2.12 The Environment Agency (EA) confirm they have no objection to the approval of the reserved matters application. However, they draw attention to the following. At the time of the outline planning permission, the Flood Risk Assessment (FRA MW-17) dated April 2016 used the flood map for planning and the Lee Maintenance model to show the existing flood risk as the site indicating this to be located within Flood Zone 2 and within the 1 in 100 year plus 20% allowance for climate change. Additionally, at the time of the outline planning permission, the current climate change allowances were produced and therefore it was requested that an assessment of the 1 in 100 year plus 25% climate change event was undertaken. This is in line with the current guidance which indicates that for a more vulnerable development within flood zone 2 the central allowance of 25% is used as a minimum for flood risk mitigation taking account climate change. The FRA MW-17 dated April 2016 estimated the flood level at the site in a 1:100 year plus 25% climate change allowance flood event to be 11.29m AOD. Therefore, the finished floor levels of the proposed buildings should be set a minimum of 300mm above the 11.29AOD.

- 7.2.11 Following a review of the submitted plot sections, they have confirmed they are satisfied with the proposed finished floor levels for Blocks A, E1.1, E1.2, E2.1 and E2.2. They also accept that for Blocks E2.3A and B the required clearance cannot be provided because of the requirement to tie in to existing street levels on Kimberley Road and Willoughby Lane and that they agreed to this position at outline stage. For these buildings, they therefore remind in accordance with their previous advice that flood resistance and resilience measures will be implemented to maximise protection against flooding.

Officer Comment: The EA's advice regarding Blocks E2.3 A and B has been shared with the applicant. They have confirmed that flood resistance and resilience measures will be accommodated. Whilst these measures are not fixed at this design stage, they have advised that resilience measures would be delivered in line with the relevant DCLG guide "Improving the flood performance of new buildings". Typical resilient construction measures being considered are below.

- Structure and services to be built with resilient materials

- *Services and penetrations will be designed to provide resistance to flood water*
- *Small power & MEP will be positioned at levels above AOD wherever possible*
- *The buildings will be constructed of traditional masonry construction providing resilience and assisting resistance to flood water*
- *Resilient insulations to be specified below DPC and DPC levels detailed to be above AOD where required and possible.*
- *A gas membrane is to be installed positioned beneath slab and outside of masonry inner leaf providing a firm & continuous boundary to the passage of water.*

A condition is recommended to ensure details of the flood resilience measures to be included are submitted and approved by the LPA.

London Fire & Emergency Planning Team

7.2.13 No response received

Thames Water

7.2.14 Thames Water raise no objection with regards to foul water or surface water network infrastructure capacity. They advise that petrol/oil interceptors should be fitted in all car parking/washing/repair facilities to prevent oil polluted discharges entering the water courses.

7.2.15 They also advise that the applicant be made aware that their development boundary falls within a Source Protection Zone for groundwater abstraction. These zones may be at particular risk from polluting activities on or below the land surface. To prevent pollution, the Environment Agency and Thames Water (or other local water undertaker) will use a tiered, risk-based approach to regulate activities that may impact groundwater resources. The applicant is encouraged to read the Environment Agency's approach to groundwater protection and may wish to discuss the implication for their development with a suitably qualified environmental consultant.

Officer comment: The advice of Thames Water will be included as an informative on any decision notice.

Network Rail

7.2.16 Network Rail advise that the developer must ensure that their proposal, both during construction and after completion does not encroach on Network Rail land and provide advice on working practises to maintain the safe operation of the railway.

Officer comment: The advice of Network Rail will be included as an informative on any decision notice

Health and Safety Executive (HSE)

7.2.17 The HSE have confirmed that the development does not currently lie within the consultation distance of a major hazard site or a major incident pipeline and therefore they do not need to be consulted on any developments on this site.

Police - Designing Out Crime

7.2.18 The Police have advised that whilst they have no objection in principle to a housing development, the area is a crime hotspot. Insufficient information is submitted to support the application as submitted and they would therefore object at this stage. However, they advise that should the project receive planning permission they would seek the attachment of a Secured by Design condition.

Officer comment: The condition suggested by the Police is included in the recommendation above.

London Borough of Haringey

7.2.19 The LB Haringey raise no objection

Building Control

7.2.20 A Fire Statement has been submitted with the application and Building Control have confirmed that this meets the requirements for a Gateway 1 document.

7.3 Public

7.3.1 The application was advertised by way of site notices on 8th December 2020 (expired 29th December 2020). A press advert was posted in the Enfield Independent News on 9th December 2020 (expired 23rd December 2020). In addition, 445 neighbouring properties were notified of the application.

7.3.2 Nine letters of objection have been received from Borough residents and the objections can be summarised as:

- Insufficient family housing, only 28% of the proposed units will have 3 or more bedrooms and this does not comply with Policy 5 or address identified housing need
- Outline planning permission stated minimum of 40% of dwellings should have 3 bedrooms or more
- This is a council led development on public land and therefore the Council has a duty to promote the well being of the area. Delivering more family homes would promote the well being of Edmonton residents
- Planning officers have sought to justify the under delivery of family housing on other recent developments (e.g Chase Farm) because a higher proportion of 1-2 bed units were required to help create a more balanced community, because the surrounding area had a high proportion of family homes. The same logic should be applied in reverse here.
- The site is suited to family housing being close to Ladysmith park and play space and the school.
- Phase 2 development also only suggesting 30% delivery of family homes, so later stages not accounting for the shortfall on this site as has been suggested .
- Shared ownership is not affordable to local people. Greater proportion of housing should be London Affordable Rent

Petition

7.3.3 In addition a 237 signature petition was received via Meridian for Council Homes referencing that none of the homes would be genuinely affordable by local people. This development will only benefit private developers and will do nothing to relieve the misery of lack of decent, truly affordable housing in the borough. They demand that the new homes should be 100% Council owned at 100% Social Rent with 100% secured tenancies.

8.0 Relevant Planning Policies

8.1 The London Plan (March 2021)

- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- D8 Public realm
- D9 Tall buildings
- D11 Safety, security and resilience to emergency
- D12 Fire safety
- H4 Delivering affordable housing
- H6 Affordable housing tenure
- H10 Housing size mix
- S4 Play and informal recreation
- G5 Urban greening
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- SI 2 Minimising greenhouse gas emissions
- SI4 Managing heat risk
- SI12 Flood risk management
- SI13 Sustainable drainage
- T2 Healthy Streets
- T5 Cycling
- T6 Car parking
- T6.1 Residential car parking
- T7 Deliveries, servicing and construction

8.2 Core Strategy 2010

- CP1 Strategic growth areas
- CP2 Housing supply and locations for new homes
- CP3 Affordable Housing
- CP4 Housing Quality
- CP5 Housing Types
- CP6 Meeting Housing Need
- CP22 Delivering sustainable waste management
- CP28 Managing flood risk through development
- CP29 Flood Management Infrastructure
- CP30 Maintaining and improving the quality of the built and open environment
- CP32 Pollution
- CP34 Parks, Playing Fields and Other Open Spaces
- CP36 Biodiversity
- CP37 Edmonton Leaside
- CP38 Meridian Water

8.3 Development Management Policies 2014

- DMD1 Affordable Housing on Sites Capable of Providing 10 or more units
- DMD3 Providing a Mix of Different Sized Homes
- DMD8 General Standards for New Residential Developments
- DMD9 Amenity Space
- DMD37 Achieving High Quality and Design-Led Development
- DMD38 Design Process

DMD43 Tall Buildings
 DMD45 Parking Standards and Layouts
 DMD47 New Roads, Access and Servicing
 DMD48 Assessing the Transport Implications of New Development
 DMD49 Sustainable Design and Construction Statements
 DMD51 Energy Efficiency Standards
 DMD52 Decentralised Energy Networks
 DMD56 Heating and Cooling
 DMD59 Avoiding and Reducing Flood Risk
 DMD60 Assessing Flood Risk
 DMD61 Managing Surface Water
 DMD64 Pollution Control and Assessment
 DMD68 Noise
 DMD73 Children's Play Space
 DMD79 Ecological Enhancements
 DMD81 Landscaping

8.4 Edmonton Leaside Area Action Plan (ELAAP) (Adopted 2020)

EL1 Housing in Meridian Water
 EL8 Managing Flood Risk in Meridian Water
 EL9 Leisure facilities and open space at Meridian Water

EL10 Urban Grain at Meridian Water
 EL11 Building Form at Meridian Water
 EL12 Public Realm at Meridian Water

Para 5.3.15 recognises that "housing mix is a key factor in driving floorspace requirements, since there is a clear relationship between a higher number of bedrooms and other habitable rooms, and the overall floorspace a development requires. There is therefore a balance which must be achieved between the quantum of housing which can be delivered at Meridian Water and the mix of housing units".

8.5 Enfield Draft New Local Plan

- 8.5.1 Work on a New Enfield Local Plan has commenced so the Council can proactively plan for appropriate sustainable growth, in line with the Mayor of London's "good growth" agenda, up to 2041. The Enfield New Local Plan will establish the planning framework that can take the Council beyond projected levels of growth alongside key infrastructure investment.
- 8.5.2 The Council consulted on Enfield Towards a New Local Plan 2036 "Issues and Options" (Regulation 18) (December 2018) in 2018/19. This document represented a direction of travel and the draft policies within it will be shaped through feedback from key stakeholders. Nevertheless, it is worth noting the growth strategy identifies New Southgate and Upper Lea Valley Opportunity Area as a potential option for a key location for growth. The draft Local Plan states that the Council will work with the Mayor to bring forward the OAPF.
- 8.5.3 The Council is in the process of preparing a draft Local Plan (Regulation 18) for consultation in summer 2021. This will include site allocations and a number of place-based policies, with a particular focus on growth areas such as Meridian Water. It is anticipated that following this consultation a final draft plan (Regulation 19) will be published in 2022, with submission to the Secretary of State for examination in public anticipated during 2023 and adoption in 2023/24.

- 8.5.4 As the emerging Local Plan progresses through the plan-making process the draft policies within it will gain increasing weight but at this stage it has relatively little weight in the decision-making process.

8.6 Other Relevant Policy and guidance

National Planning Policy Framework (NPPF) 2019
National Planning Practice Guidance (2019)
Enfield Climate Action Plan (2020)
Enfield Intermediate Housing Policy (2020)
Enfield Decentralised Energy Network Technical Specification SPD (2015)
TfL London Cycle Design Standards (2014)
GLA: Shaping Neighbourhoods: Play and Informal Recreation SPG (2012)
GLA: Shaping Neighbourhoods: Character and Context SPG (2014)
GLA: London Sustainable Design and Construction SPG (2014)
GLA: Accessible London: Achieving an Inclusive Environment SPG (2014)
GLA: Housing SPG (2016)
Healthy Streets for London (2017)
Manual for Streets 1 & 2, Inclusive Mobility (2005)
National Design Guide (2019)

8.7 Other Material Consideration

Housing Delivery Test and Presumption in Favour of Sustainable Development

- 8.7.1 The National Planning Policy Framework sets out at Para 11 a presumption in favour of sustainable development. For decision taking this means:

“(c) approving development proposals that accord with an up-to date development plan without delay; or
(d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date (7), granting permission unless:
(i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed (6); or
(ii) any adverse impacts of so doing would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole.

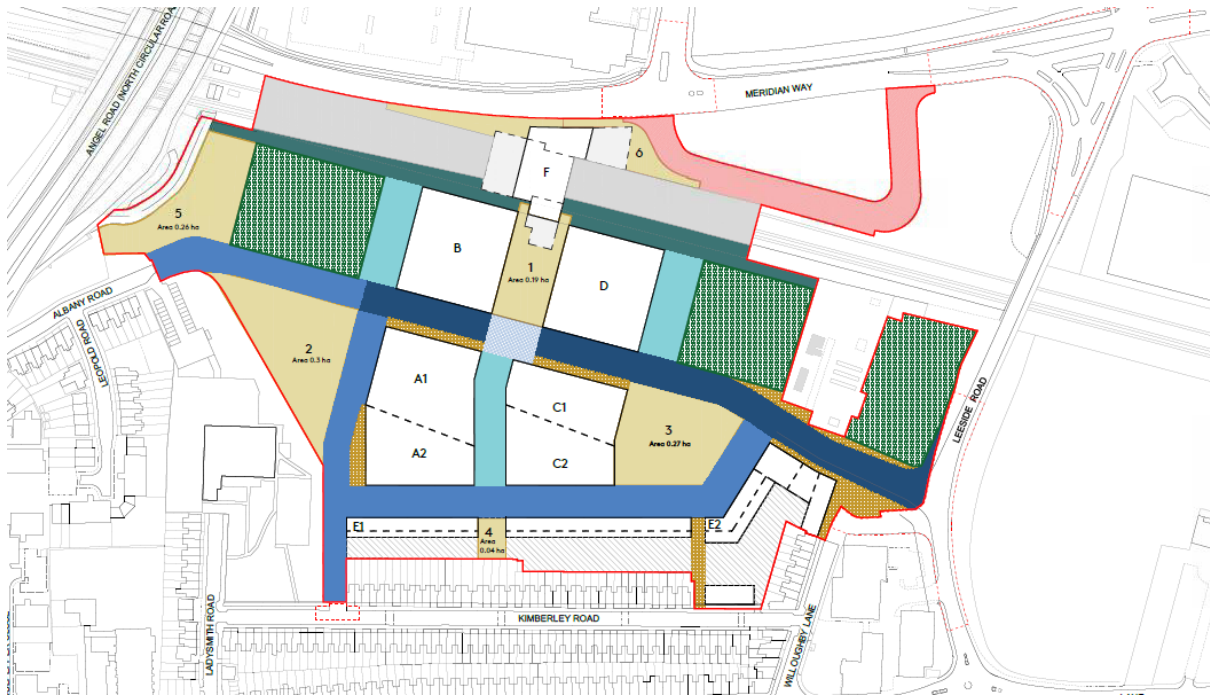
- 8.7.2 Footnote (7) referenced here advises “This includes, for applications involving the provision of housing, situations where the local planning authority cannot demonstrate a 5 year supply of deliverable housing sites (with the appropriate buffer, as set out in paragraph 73); or where the Housing Delivery Test indicates that the delivery of housing was substantially below (less than 75% of) the housing requirement over the previous 3 years.”

- 8.7.3 The Council's recent housing delivery has been below our increasing housing targets. This has translated into the Council being required to prepare a Housing Action Plan in 2019 and more recently being placed in the “presumption in favour of sustainable development category” by the Government through its Housing Delivery Test.

- 8.7.4 The Housing Delivery Test (HDT) is an annual measurement of housing delivery introduced by the government through the National Planning Policy Framework (NPPF). It measures the performance of local authorities by comparing the completion of net additional homes in the previous three years to the housing targets adopted by local authorities for that period.
- 8.7.5 Local authorities that fail to meet 95% of their housing targets need to prepare a Housing Action Plan to assess the causes of under delivery and identify actions to increase delivery in future years. Local authorities failing to meet 85% of their housing targets are required to add 20% to their five-year supply of deliverable housing sites targets by moving forward that 20% from later stages of the Local Plan period. Local authorities failing to meet 75% of their housing targets in the preceding 3 years are placed in a category of “presumption in favour of sustainable development.”
- 8.7.6 In 2018, Enfield met 85% of its housing targets delivering 2,003 homes against a target of 2,355 homes over the preceding three years (2015/16, 2016/17, 2017/18). In 2019 we met 77% of the 2,394 homes target for the three-year period delivering 1,839 homes. In 2020 Enfield delivered 56% of the 2,328 homes target and we now fall into the “presumption in favour of sustainable development” category.
- 8.7.7 This is referred to as the “tilted balance” and the National Planning Policy Framework (NPPF) states that for decision-taking this means granting permission unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole – which also includes the Development Plan. Under the NPPF paragraph 11(d) the most important development plan policies for the application are deemed to be ‘out of date’. However, the fact that a policy is considered out of date does not mean it can be disregarded, but it means that less weight can be applied to it, and applications for new homes should be considered with more weight (tilted) by planning committee. The level of weight given is a matter of planning judgement and the statutory test continues to apply, that the decision should be, as section 38(6) of the Planning and Compulsory Purchase Act 2004 requires, in accordance with the development plan unless material considerations indicate otherwise.

9.0 Analysis

- 9.1 The principle of development on this site has already been established through the granting of the outline planning permission. This established the quantum of development to be accommodated, the framework for the delivery of that development in terms of identifying the build zones and road layout, the broad location of the residential and commercial uses and the quantum and location of open space. The accompanying S106 Agreement set the minimum provisions for affordable housing.



Plan indicating parameters agreed through outline permission – build zones, road layout and open space provision

9.2 This application being a reserved matters submission pursuant to this outline planning permission must be considered having regard to these established parameters. The application provides the design detail for Blocks A, E1 and E2, which would provide the first 300 units, the public realm adjacent to these blocks and the detailed proposal for the northern park, identified as number '2' on the plan above. The submission includes the proposed unit mix for this Phase and the quantum of affordable housing to be delivered pursuant to the requirements of the S106 Agreement.

9.3 The main issues for consideration regarding the application are therefore as follows:

- Design quality
- Playspace provision
- Car and cycle parking
- Affordable housing provision and unit mix assessed against the parameters established in the outline planning permission
- Impacts on adjoining residents
- Environmental Impacts and any deviations/additional impacts beyond those assessed in the Environmental Impact Assessment supporting the outline planning application.

Design Quality

Layout

9.4 The Development Zones and Building Dimensions parameter plans approved at outline stage restricts the layout of the proposals to defined plots, with a 'no-build' zone identified to the rear of Plot E and adjacent to Plot E2.3B, to ensure adequate distance between the main development and the existing housing in Kimberley Road and Willoughby Lane. The siting of the blocks proposed accords with these parameters, with the exception of the bay windows to the terraced houses in Willoughby Lane and Kimberley Gardens which extend beyond the build zone in the parameter plans. However, the inclusion of these features is a positive design move to tie the

development in to the established rhythm of the streets. Cycle stores are proposed to the rear of block E 1.2, accessed through the communal gardens, within the no build zone. These structures are modest in scale and height (max. 2.75m high), are light weight in terms of their construction and would have a sedum roof. They are similar in scale to outbuildings ordinarily found in the back gardens of residential properties, and their inclusion in the no build zone is considered acceptable. A cycle and refuse store is proposed within the 'no build' zone adjacent to Block E2.3B. This is single storey and would stand 2.9m high. This structure would sit at the end of the rear garden of two of the existing Willoughby Lane properties. Given the height of the existing garden enclosure, the structure would have no material impact on the amenities of the occupiers of these properties.

- 9.5 The outline planning permission identifies the provision of assembly and leisure and retail floorspace within the ground floor of part of Block A, fronting the main north/south route through the site. This application proposes solely residential floorspace within this Block and therefore deviates from the Ground Floor Uses Parameter Plan. The distribution of the retail, leisure and community space across the whole of Phase 1 has been the subject of pre-application discussions and with the total quantum of commercial floorspace permitted, the importance of securing active frontages towards to station square recognised and prioritised. The outline planning permission requires its provision and therefore whilst no longer provided on Plot A, the need to provide it is not lost. This floorspace will be accommodated with Phase 1B and this move is supported.
- 9.8 A key issue that initially led to the siting of the leisure floor space in this location was a desire to ensure an active frontage. Activation is therefore important and in this respect the proposals provide for two storey maisonettes wrapping the block, providing front doors to the street to provide that activation. Double height glazed entrance cores provide access to the upper floor units, further enlivening the frontage. With the design approach proposed the provision of an entirely residential block here is supported.
- 9.9 The outline planning permission included a protected frontage parameter plan in which bin stores, cycle stores and plant rooms should be avoided. It has not always proved possible to achieve this due to space required to accommodate these facilities at ground floor level and the maximum walk and pull distances for example for refuse facilities. This deviation from the parameter plans is understood and considered acceptable.
- 9.10 The outline planning permission required a parking ratio of 0.4 spaces per unit. This is met through the provision of 131 parking spaces, 46 within the podium to Block A and the remainder on street. The proposed road layout remains in compliance with the Vehicle Routes and Route Network Parameter Plan. There is minor deviation from the design code which required all secondary streets to have a 3m wide footway. That to the western street has been reduced to 2.5m. This deviation is considered acceptable and suitably sized pedestrian routes are being provided. The carriageway widths have been reduced compared to the original application and the junction geometries have been tightened (ie they have been reduced in size to improve the environment for pedestrians and cyclists) which, given that the streets are effectively internal access routes only, so will be lightly trafficked, is an acceptable approach. Vehicle tracking has been provided which indicates that a 10m vehicle can move around the site without overrunning footways. A standard fire tender is around 8m and can reach the main access points for the proposed

accommodation. Suitably sized loading bays are being provided in close proximity to the main access points and refuse & recycling storage areas. Whilst some of the locations are not optimal for this phase of development, it must be noted that this is balanced against the needs of the wider Phase 1 scheme.

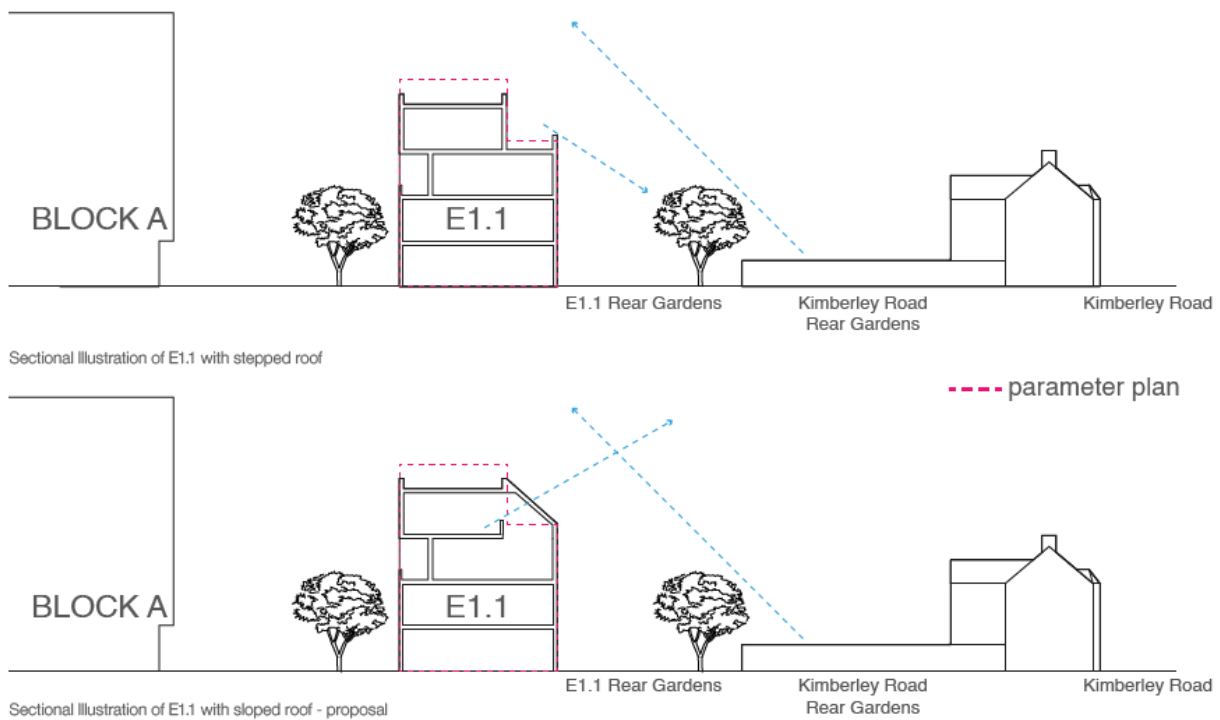
Scale, massing and height

- 9.11 Height parameter plans set the maximum height parameters for the blocks and include a percentage that can be developed above a certain height, allowing for a pop up of height on corners for example.
- 9.12 This initial phase of development is closest in proximity to the established to 2 storey terraced housing to the west in Kimberly Road and Willoughby Lane. The height and massing of buildings proposed is therefore a response to this. Two new terraces, 2-3 storeys in height, stitch into the existing lines of terraces in Kimberley Road and Willoughby Lane (Blocks E2.3A and B). A linear block (Block E2.1 and 2.2) steps up in height to a maximum of 6 storeys to mark the entry point to the site from the south and Leaside Road. Two blocks of stacked maisonettes (Blocks E1.1 and E1.2) run parallel to the Kimberley Road terraces and extend to 4 storeys in height. Plot A is the largest courtyard block across Phase 1 and focuses height on the north-east corner to provide views of the Northern Park and act as an anchor for the corner, for routes to and from the station square.



9.13 The height and massing strategy is consistent with the outline planning permission, with some very minor deviations:

- A modest breach of the height parameters for Block E.2.A (220mm), to the end plot and arising as a consequence of the need to ensure the terrace steps up across the plot to respect existing ground levels
- Blocks E1.1 and 1.2 (modest circa 750mm-900mm increase as a consequence of eaves height and parapet increases to respective blocks) that have arisen as the design has evolved and have been progressed as improvements to the detailed design
- A revised approach is proposed to the form of Block E1, which sees the introduction of a sloping pitched roof to the west facing elevation rather than a vertical step.



- 9.14 This move is supported and assists in achieving additional floorspace within these affordable housing units. The modest deviations from the parameter plans have no material impact on the amenities of adjoining residents and the considerations that led to the granting of the outline planning permission.
- 9.15 Whilst the overall massing limits of Block A are determined by the conditions set by the outline planning permission, the distribution of height across the block has been considered, with taller elements located to complement the clustering of taller buildings towards Meridian Station, aiding wayfinding. Furthermore, the orientation of the taller element reduces impact on the amenity of the courtyard podium. The massing principle has been for Block A1 to the east of the plot to mediate between the future phases and the further stepping up of height towards the station, whilst A2 relates to the lower rise blocks to the west. A1 is stepped in plan to provide additional south-facing aspect to the dwellings. The flat layout for the typical upper floors shows up to two flats with stepped plan to increase aspect and reduce impact of its north facing orientation. The other two north facing flats are located on the corners and have additional aspect. A roof terrace is also provided which provides additional amenity space. However, there are some residual issues with the details submitted for this amenity space and therefore a condition is recommended to secure additional detail around this area.



Block A

- 9.16 Block A2 has to create a dialogue with Block E1.1, which is a more consistent and repeatable building type. A2 is symmetrical in plan with a series of inset balconies facing the podium of Block A, where the setting is more protected and framed by the galleries to the north and south of Block A2. Each unit in Block A has access to a private balcony or terrace. Residents would also have access, via the residential cores to a communal courtyard amenity space.
- 9.17 Four architectural practises have been involved in the design of the E Blocks, which adds some variety to massing and elevational treatment.
- 9.18 Blocks E1.1 and E1.2 back on to the existing houses in Kimberley Road. They comprise double stacked maisonettes reaching 4 storeys in height consistent with the outline planning permission. The ground floor maisonettes with front garden and clear defensible space design and distinct lobby entrances provide an active frontage. Residential cores lead to a second- floor access deck to the front elevation, serving the upper duplexes. Each unit has access to a private balcony or terrace and a communal amenity space at ground level to the rear. These communal gardens are to be gated and accessible by residents only.
- 9.19 Block E1.1's linearity is broken up with a rhythm of recesses and protrusions with bookend units scaling up to address the corners and the wider urban context. The proposed changes to the massing, with the sloping roof profile to the rear, adds further distinction to the bookend design feature. Enlarged common entrances allow views to the communal gardens to the rear.



Block E1.1

- 9.20 Block E1.2 linearity is broken with the arrangement of 4 storey pop ups and recessed 3 storey elements allowing for the deck access. The approach to this block is supported.



Block 1.2

- 9.21 Blocks E2.1/2.2 are more substantial in scale, in part 6 storeys, in accordance with the outline parameter plans, as these blocks mark the entrance to the site. The blocks would also be finished in brick, consistent with the whole of Phase 1A. Block E.2 will overlook one of the parks planned in Phase 1B. Balconies are proposed facing the park. Deck access is provided on the rear elevation. Residents will also have access to a gated communal garden. This block has been the subject of some design revision since submission and the amendments are welcomed.

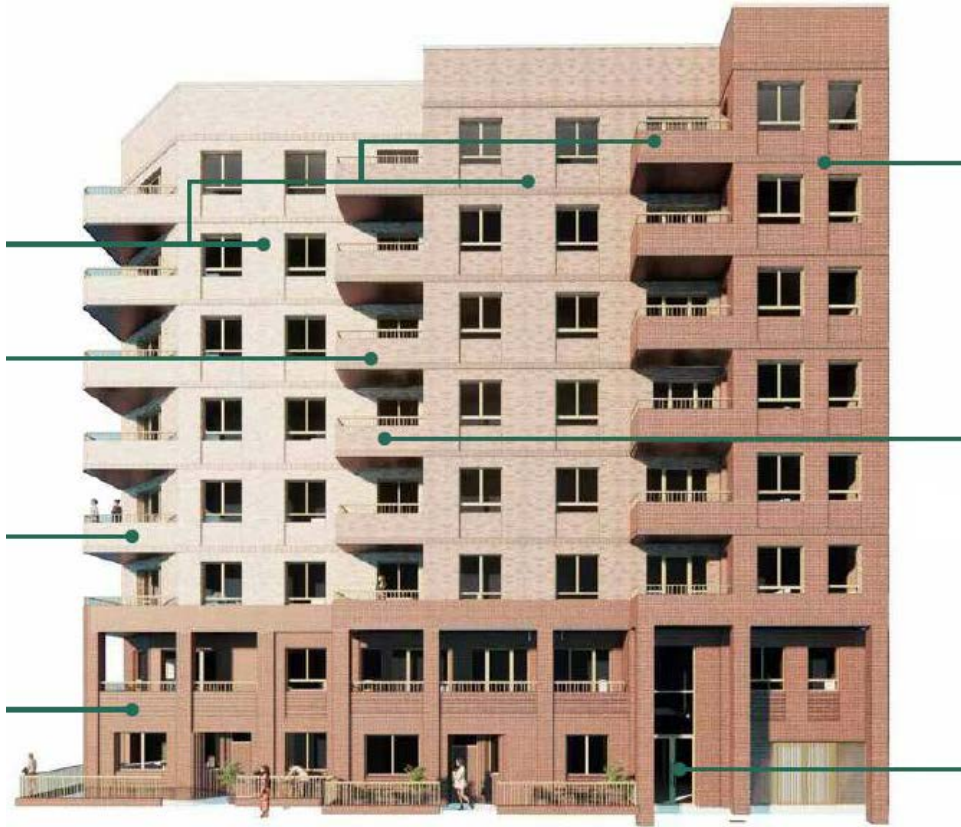


Block E2.1 & 2.2

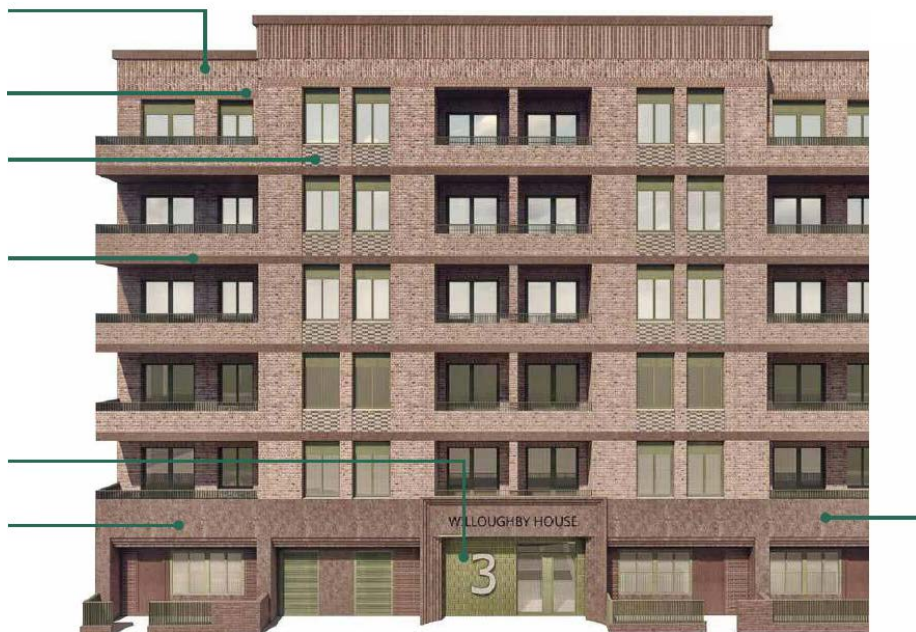
- 9.22 Blocks E2.3A and E2.3B need to tie the development into the existing streets of Kimberley Gardens and Willoughby Lane. The proposals, in providing new terraced housing, successfully achieve this, providing a scale and rhythm of building that reflects the existing streets.

Appearance

- 9.23 In terms of materiality, the proposal is to use brick as the primary external finish to all blocks. Metal windows are proposed and solid balconies (brickwork) throughout. With four architects involved, there is a variety of brickwork and secondary material interplay which adds sufficient distinction to each block, while sharing a common material language, giving cohesion to the whole scheme.
- 9.24 Block A will have three tones, a darker brick reminiscent of some of the Victorian era industrial buildings along the Lea Valley and the lighter brick relating to the treatment of Block E. The mid tone brick is used across both A1 (12 storey element) and A2 (6 storey element), with a continuous darker brick and reconstituted stone plinth wrapping around the base. There is a difference of brickwork bonding, texturing and colour between Block A1 and A2. A1 uses tone linked to its more varied massing and subtle texture articulation by bonding and recesses. A2 on the other hand, uses tonal changes in brick and bonding, as well as a secondary material with reconstituted stone, to articulate its simpler massing. How these two approaches link and relate to the wider scheme is considered to be successful.
- 9.25 While the balconies are primarily brick, there is a metal railing that is consistently used at upper and lower levels, including the defensible space, for both Block A1 and A2, adding coherence and a distinct tertiary material.



Block A1 Façade treatment



Block A2 façade treatment

- 9.26 The E blocks are also finished in brickwork. The sloping roof introduced to Block E1 will be finished with traditional roof tiles to reflect the terraced housing in the adjacent streets. Overall the approach to materials in these blocks is supported. However, Block E1.1 is comparably plainer than other blocks within this phase as it lacks a secondary material featured in the elevation. Instead of this, hit and miss brick bonding is proposed to add some articulation to the façade. Compared to other blocks, there is a concern that this does not provide enough contrast. The bronze panelling and tone of brick are similar and therefore do little to break up the scale and mass of the building. Officers have suggested that a further distinction of tone should be considered, either in brick and/or panelling, for the block to maintain consistency with the approach of other blocks. The applicant has agreed to a condition requiring the submission of details around the composition and materiality of the facades to allow this to be further explored.
- 9.27 Conditions of the outline planning permission already require the submission and approval of materials. An additional condition is recommended to cover all blocks requiring larger scale details of various façade elements to ensure quality of detailing is secured through to construction.

Residential quality

- 9.28 All units proposed meet the minimum internal space standards and all units are provided with private balconies or terraces that meet the amenity space standards. There are a number of issues across the blocks with the provision of defensible space and impact of overlooking to some of the units, which is considered important to protect the privacy and amenities of future occupiers. The units which require this to be addressed have been highlighted to the applicant and additional enclosure has been agreed.
- 9.29 All Block A residents will have access to a communal courtyard garden at podium level; a roof top amenity space is provided in Block A1 but this would not be available to all residents as it can only be accessed from a single core. The podium amenity space will include doorstep play facilities for children. The wind assessment supporting the application identifies that there are some areas within the courtyard podium level space that could potentially only be suitable for standing in the summer months. The applicant has been asked to address through additional mitigation measures and a condition requiring further details on the arrangement of features, furniture and landscaping and enclosures within the courtyard is recommended. Limited information has been provided about the quality and detailing of the rooftop amenity space and a condition is recommended requiring further information on this. However, overall future residents will have access to good quality private and communal amenity space.
- 9.30 The E Blocks (1.1, 1.2, 2.1 and 2.3) also have access to either a private balcony or terrace in accordance with standards and communal gardens at ground level, accessed via the residential cores. The quantum of space and quality proposed is acceptable.
- 9.31 The DRP had asked the applicant team to consider whether parking facilities could be provided within the communal gardens to the rear of these blocks to reduce the need for on street space and allow for a further softening of the public realm. This would have compromised the quantum and quality of the communal gardens and has not therefore been progressed.

- 9.32 The terraced houses proposed in Kimberley Road and Willoughby Gardens (Blocks 2.3A and B) each have a private rear garden and can also access the communal garden contained by these blocks and Blocks E2.1 and E 2.2, through gates from their private rear gardens. This is compliant with standards and the quality of the space is considered acceptable.
- 9.33 Policy D6 of the London Plan seeks to maximise the provision of dual aspect dwellings and normally avoid the provision of single aspect dwellings but recognises that this is not always possible to achieve when optimising sites and therefore must be considered as part of the overall design -led approach to development. The Design Code accompanying the outline planning permission sought to ensure a minimum of 60% of units in Phase 1 had dual aspect. The proposals have sought to maximise the number of dual aspect units and this phase would have in excess of 70% of units with dual aspect, there are no single aspect north facing units and none of the single aspect units are family units. This is welcomed.
- 9.34 The application is supported by a daylight and sunlight assessment. The results of the assessment show overall high levels of daylight compliance, with the majority of rooms exceeding the recommended levels of daylight. Areas of deviation are primarily located in bedrooms, or where the room is limited by an overhanging balcony or access deck. In terms of sunlight, there is a lower but nevertheless acceptable level of adherence to the sunlight guidelines in line with levels that would be expected for a scheme of this type, with the majority of deviations again occurring in rooms overhung by balconies or access decks, or which do not have a southerly orientation. Units that have a lower level of daylight due to the buildings design, notwithstanding density and overall adherence to BRE guidelines, have been highlighted to the applicant and amendments have been made to improve the situation. All proposed communal amenity areas achieve the recommended levels of direct sunlight.
- 9.35 The ability to comply with sunlight and daylight guidelines must be balanced against the importance of providing good quality private amenity space and safe and secure access to all units. Given this, it is considered that the development overall achieves a good balance across all objectives that inform the quality of the residential units and the scheme is supported.
- 9.36 Ninety percent of units will meet Building regulation requirement M4(2) accessible and adaptable dwellings and the remaining 10% will meet Building regulations requirements M4(3) wheelchair use dwellings. This complies with policy and the requirements of condition 50 of the outline planning permission. In line with the DRP comments about wheelchair units, these are dispersed across all blocks.

Landscaping and public realm

- 9.37 The approach to landscaping, both hard and soft, is to reflect the character of the Lea Valley, both its landscape and industrial character, through species choice and the material palette. This approach is supported.
- 9.38 The landscaping strategy feeds through to the parks proposed within this phase, which include the more substantial 'Northern Park', a small pocket park at the entrance to the site from Leaside Road and a further small pocket space between Blocks E1.1 and 1.2.

- 9.39 The Northern Park will provide the main play area for the development. It will provide activities and opportunities for children of all ages. Seating areas are provided for passive supervision. The park is wrapped and permeated by tree planting



Northern Park

- 9.40 The parks form an important part of the flood mitigation strategy for this phase. The Northern Park is set at a lower level to the adjacent roads to ensure that the required extreme flood event attenuation is provided. The level change will be created using stepped retaining stone dressed gabion baskets which will be planted into to green the space. Levels are used within the wider play space to create a series of platforms which should enhance the play experience. The park will be enclosed by railing with access via 3 gated access points, with paths being graded and accessible for all. The proposals for this park are supported.
- 9.41 A smaller pocket park is proposed at the site entrance to Leaside Road. This forms an important gateway into the site. The landscape strategy here is to a create a more natural and informal space, through tree and meadow planting. It is to include sculptural elements referencing the former gasholders that once occupied the site. A condition is recommended requiring details of the sculptural elements proposed.
- 9.42 The red line of the application site that reflected the land ownership at the point of submission of the outline planning permission, severs the parcel of land that exists here, as can be seen from the image below. This application can only address the land within the outline application site. However, officers raised with the applicant the

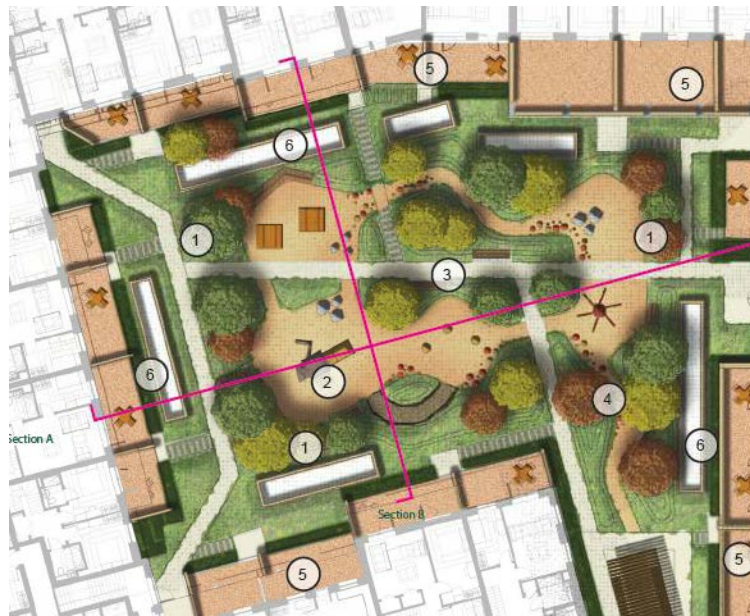
importance of this land being treated as a single piece and consistently landscaped. It is hoped that the new application the applicant is proposing in due course for the Phase 1B land can address this.



- 9.43 A further pocket park is provided between Blocks E1.1 and 1.2. This will be a gated space for residents and will include fruit trees, growing space, a potting shed and a communal dining space together with tree planting. This additional amenity for residents is supported and by ensuring the space is clear of buildings does not prejudice the opportunity for links to the established communities to the west in the future.



- 9.44 The communal courtyard to Block A will be predominantly planted, with seating, paths and under 5's play contained within soft landscape. The residential terraces to the lower floor units will be enclosed, with supplemental defensible planting beyond their boundary wall. The podium roof also needs to accommodate ventilation grills to the car park beneath. The landscape strategy seeks to screen these through either soft landscaping or the creation of small landscape mounds. It has been highlighted that the wind conditions within this podium create some areas that may be only suitable for standing in the summer months. The applicant has been asked to consider the inclusion of additional mitigation within the podium to address this and a condition is recommended to cover this. Overall, this space will provide good quality communal amenity space for residents and is supported.



Block A Podium communal garden

- 9.45 A small roof top terrace is to be provided to the roof of the 8 -storey block. Planting here will be more limited and low level. The remaining roof tops for this block will have a biodiverse roof.
- 9.46 The communal gardens for the E blocks will again be predominantly planted, with areas for socialising and under 5's play and circulation routes. The ground floor units have terraces adjacent to the communal gardens and these will be enclosed for privacy purposes.
- 9.47 The streets will include soft landscaping and tree planting. The Design Code set a maximum number of 4 continuous street parking spaces to be followed by a 6m gap to allow for greening. The proposal seeks to amend this by providing 3-4m gaps but at more frequent intervals to increasing the greening within the public realm. This move is supported.
- 9.48 In line with the Design Code, the ground floor dwellings have front defensible space which adds activation to streets and is consistently laid out across all blocks. In areas where this is not proposed due to landscaping constraints, a 1.5m hedge is proposed instead. Corners in Block A where this is not the case have been highlighted to the applicant and an update will be provided at the meeting.

- 9.49 The landscape strategy and principles are supported. Additional detail is required in respect of the detailed planting specifications for the various spaces and therefore conditions are recommended to cover this.

Play Provision

- 9.50 Phase 1 A has a predicted child yield of 203 children giving an overall play requirement in accordance with policy of 2030sq.m. This requirement is exceeded through the proposal for the Northern Park where 2500sq.m of play space is created and this will be supplemented by additional areas of new play space within the communal gardens of all the blocks. It has been decided by the applicant team to over provide on play provision at an early stage to support the establishment of the new community, in the recognition that this over provision will be taken in the balance as the Phase 1 B proposals come forward. The play provision proposed is acceptable and exceeds the requirements of policy for this phase.

Access, car and cycle parking

- 9.51 Car parking provision is in accordance with the terms of the outline planning permission with a parking ratio of 0.4 spaces per unit being provided. Provision is also made for disabled parking with 4 spaces provided in the podium to Block A and 6 on street. Electric vehicle charging points will be provided and condition 72 of the outline planning permission, yet to be discharged, secures these.
- 9.52 Cycle parking will be provided in a combination of secure communal cycle stores for the benefit of each block (584 spaces in total) and an additional 80 spaces provided in the public realm as Sheffield stands. The level and distribution of spaces is acceptable
- 9.53 Communal refuse stores are provided across this phase, including for the terraced housing, given the limited frontage to these plots to be able to accommodate individual bins. The arrangements proposed are considered acceptable.

Affordable housing, delivery plan and housing mix

Overall affordable housing provision

- 9.54 The outline planning permission, through the draft S106 agreement, requires a minimum of housing 25% affordable housing across the whole of Phase 1 by unit and no less than 35% of the total number of habitable rooms with a tenure split of 40% affordable rent and 60% as intermediate housing units.
- 9.55 Since the granting of the outline planning permission and through the Council working with Vistry as a development partner, it is proposed to uplift the affordable housing provision across the whole of the Phase 1 site to 50%. This is the first phase of the Phase 1 development. Whilst the proposed uplift across the Phase is noted and welcomed, this is not yet secured through a planning permission or legal agreement and therefore, the affordable housing proposed within this phase remains to be considered against the terms of the outline planning permission.
- 9.56 This application proposes a total of 272 affordable units, which as percentage of the total number of 725 units consented for Phase 1, equates to 37.5% and therefore in excess of the minimum unit requirement. As a percentage of the 300 units proposed within Phase 1A, the proposal represents 91% of the units. It is not possible to undertake a comparison on the basis of habitable rooms across the totality of Phase 1

as the detailed mix across the whole is not known. However, the proposal would deliver 92% of the habitable rooms within this phase as affordable housing.

- 9.57 The tenure split proposed within this phase would deliver 39% of units as London Affordable Rent (44% by habitable room) and 51% as shared ownership (48% by habitable room). This broadly accords with the terms of the S106 agreement. However, it must be noted that the S106 requirement relates to the whole of Phase 1 and is not a per phase requirement.

Housing Mix

- 9.58 Core Policy 5 of the Core Strategy sets out the aim to achieve a borough wide housing mix as set out below over the lifetime of the plan.

Market housing – 20% 1 and 2 bed flats (1-3 persons), 15% 2 bed houses (4 persons), 45% 3 bed houses(5-6 persons), 20% 4 bed + (6+persons)

Social rented housing – 20% 1 bed and 2 bed units (1-3 persons), 20% 2 bed units (4 persons), 30% 3 bed units (5-6 persons), 30% 4 bed + units (6 + persons).

A range of housing types is required in the intermediate sector.

- 9.59 Core Policy 5 should not be applied on a site by site basis as it is a borough wide target.
- 9.60 More recently the 2021 London Plan Policy H10 seeks to ensure schemes deliver a range of unit sizes having regard to robust local evidence, the requirement to deliver mixed and balanced neighbourhoods, to deliver a range of unit types at different price points, the mix of uses within the scheme, the range of tenures, the nature and location of the site with a higher proportion of one and two bed units generally more appropriate in locations which are closer to a town centre or station with public transport access and connectivity, the aim to optimise the housing potential of sites, the ability of new development to reduce pressure on conversion of existing stock, the need for family housing and the role one and two bed units can play in freeing up existing family housing.
- 9.61 In terms of housing mix, the S106 controlled the mix of affordable units only and these requirements relate to the whole of the Phase 1 site. The table below sets out the obligations as contained within the S106 Agreement and how the proposals to date perform against those obligations.

S106 Obligations	This phase
Between 20-30% 1b2p units	29%
Between 20-30% 2b3p units – 2b4p units, of which all of the 2 bed affordable rented units shall be 2b4p	40% of affordable units are 2 bed but all of affordable rent are 2b4p
A minimum of 35% of affordable rented units shall be of a mix of 2b4p and 1b2p	56% of affordable rented units 1b2p or 2b4p
A minimum of 40% family units (3 bed +) of which none of the 3 bed affordable rent	30% of the affordable units within this phase

units shall be 3b4p or less and no more than 50% of the 3 bed affordable rent units shall be 3b5p.	are family units, no 3b4p affordable rent, 93% of 3 bed units are 3b5p
A minimum of 5% of all family units (3 bed +) shall be 4bed +, of which a minimum of 20% of the 4 bed affordable rent units shall be larger than 4 bed 7 person.	37% of family units are 4 bed and 32% of affordable rent are 4b8p

9.62 The outline planning permission did not secure the private mix of accommodation but the report to Planning Committee of March 2017 included an indicative mix as follows:

- Up to 20% studios
- Between 40-50% 1b2p
- Between 25-35% 2b4p
- Minimum 5% family units (3b+)

9.63 This phase of development would deliver the following private mix within this phase

- Studios 4 (14%)
- 1b2p 4 (14%)
- 2b3p 14 (50%)
- 2b4p 6 (21%)
- 3b+ 0 (0%)

9.64 The proposals for this phase alone do not fully align with the obligations set out in the draft S106 Agreement at this stage. However, the S106 does not require compliance per phase but across Phase 1 as a whole. Any shortfall or over provision within this phase would need to be balanced across Phase 1B, unless as the S106 allows, it is otherwise agreed with the Council.

9.65 In reporting the outline application to Planning Committee it was recognised that a lower number of family homes were being provided overall but that this was on the basis of a commitment to 40% 3b+ in the affordable tenure. The housing mix proposed in this phase would see the delivery of 83 (28% of this phase), all of which would be in the affordable tenure as either London Affordable Rent or shared ownership. This delivers a significant quantum of family housing within this phase and must be considered in the context of both the early delivery of affordable housing and an increase in the quantum of affordable units overall (37.5%) within Phase 1. The mix and quantum of affordable housing in this phase is supported by the Strategic Housing Authority.

9.66 In the context of the adopted London Plan policy, this phase delivers a mix of unit sizes and tenures to support a mixed and balanced community. The location of the site, adjacent to the new Meridian Water station, supports the higher proportion of 1 and 2 bed units proposed, with the majority of these (70%) being in the market/shared ownership tenures.

9.67 The mix proposed is therefore considered acceptable for this phase. The applicant has been advised of the comments raised by the Strategic Housing Authority and the need for an uplift in family accommodation within Phase 1B.

Affordable housing delivery plan

- 9.68 This plan has been updated since the submission of the application and now confirms that affordable housing delivery will be consistent with the terms of the draft S106 Agreement ensuring the delivery of all of the affordable units in advance of the final market units.

Impact on adjoining residents

- 9.69 The development proposed generally accords with the parameters established through the outline planning permission in terms of the height and placement of buildings. Accordingly, the impact of buildings of the maximum envelope proposed have already been assessed and considered acceptable at outline stage. However, there are a number of minor deviations from the outline permission parameters, which have been highlighted throughout the report and therefore these are now assessed in greater detail.
- 9.70 The roof profile to Block E1.1 is to change under this submission, incorporating a sloping roof to the rear connection the 3 and 4 storey elements, rather than a stepped profile. The change does reduce the size of the terrace area that could have been created at 3rd floor level with a stepped profile approved. This has marginal benefits for adjacent occupiers in terms of the potential for overlooking. Small terrace areas are still proposed, but these are now enclosed on each side by the form of the roof. This change does not result in any further material loss of light or outlook or overlooking compared to the outline planning permission parameters.
- 9.71 The application proposes a marginal increase in the height of eaves line to Block E1.1 (increase by 750mm) and the parapet height to Blocks E1.2 (increased by 900mm). The overall maximum heights of the blocks has not changed and accords with the parameters of the outline permission. Given the separation distances between the existing residential properties and these blocks, this change will have no material impact on the amenities of the occupiers of the adjoining properties.
- 9.72 Cycle stores are now proposed in the no build zones to the rear of Block E1.2, accessed through the communal gardens. These structures are modest in scale and height (height max 2.75m), are light weight in terms of their construction and would have a sedum roof. The buildings are separated from the residential properties in Kimberley Road by the length of their rear gardens. Whilst site levels are marginally higher than the Kimberley Road properties it is considered these structures would have no adverse impact on the amenities of the adjoining occupiers in terms of light or outlook.



Cycle stores marked in black

- 9.73 A cycle and refuse store is proposed in the no-build zone adjacent to Block E2.3B. This would adjoin the boundaries of No's 191/193 and 195 Willoughby Lane. The store would be a maximum of 2.9m high and be positioned at the end of the rear gardens of these properties, where there exists an existing boundary enclosure. It would be topped with a sedum roof. Given this, it is considered that it would have no material impact on light or outlook to these properties.
- 9.74 All other changes proposed to parameter plans or design code are internal to the scheme and have no impact on the amenities of the occupiers of adjoining residents.

Compliance with Environmental Statement

- 9.75 The application is supported by an Environmental Statement of Conformity. This confirms that the design of Phase 1A is primarily within the parameters of the consented scheme with the exception of the minor deviations that have been highlighted throughout this report. Taking these into account, the proposed development will not result in any new or worse significant effects in addition to those identified within the Environmental Statement submitted with the outline planning application.

Other conditions for discharge

- 9.76 Several conditions attached to the outline planning permission are also to be considered in parallel with this reserved matters submission. These are responded to in turn below:

Condition 29 Green Procurement

- 9.77 The condition requires the submission of Green Procurement Plan with each reserved matters submission to demonstrate the strategy for the procurement of materials and how this will promote sustainability.
- 9.78 The document submitted confirms that responsibly sourced and sustainable materials will be specified at the appropriate design stage. Vistry Partnerships has an in-house team who consistently check and maintain the sustainable materials policy. The design team will check the sustainability characteristics of materials being specified throughout the design stage, with the aim to reduce the volume of materials needed and improve project efficiency where feasible through the re-use of materials on-site.

and reduce over order through accurate designs. The project team will include responsible sourcing of materials and communicating the responsible resourcing policy to subcontractors. An up-to -date data base of materials being used will be kept.

- 9.79 The Green Procurement Plan submitted is acceptable and the condition can be discharged.

Condition 65 Energy Statement

- 9.80 This condition requires each reserved matters submission to be accompanied by an energy statement setting out how the parameters set out in the energy statement forming part of the outline planning application have been met.

- 9.81 The energy statement included in the outline planning permission included parameters around U values, that heating was to be provided by the future Lee Valley Heat Network, ventilation was to be provided via mechanical ventilation with hHeat recovery with given standards, no cooling to be supplied to residential apartments and photovoltaics panels to be installed.

- 9.82 The applicant has confirmed that where variations to the energy strategy have been undertaken, this is to allow for Building Regulations 2020. Consequently, some energy assumptions being proposed are more stringent to ensure compliance.

- 9.83 The following strategy will be implemented:

Be Lean: Energy efficiency measures to improve the building fabric and services includes High performance U -values (0.18 for external walls, 0.15 for semi-exposed walls, 0.13 for roof, 0.10 for the ground floor using insulation around the edge, 0.13 for exposed floor and 1.4 for windows (double-glazed), good air tightness and bespoke Psi values

Be Clean – connection to the decentralised energy network

Be Green – Photovoltaics panels.

- 9.84 The conclusions of the assessment are as follows:

	Carbon Dioxide Emissions (Tonnes/Annum)	CO ₂ Savings (Tonnes CO ₂ / year)	CO ₂ Emissions Reduction at each stage (%)
Step 1 –Baseline	450	-	-
Step 2 – ‘Be Lean’	388	62	14%
Step 3 – ‘Be Clean’	82	306	68%
Step 4 – ‘Be Green’	65	17	4%
Total Cumulative Savings	-		86%

- 9.85 The strategy demonstrates compliance with condition 35 of the outline planning permission and London Plan policy SI 2 which require a 35% reduction on the total Co2 emissions against Part L of the Building Regs 2013 on site.

- 9.86 London Plan policy SI4 requires major development proposals to demonstrate through an energy strategy how they will reduce the potential for overheating and reliance on air conditioning systems in accordance with the following cooling heirachy:

1. Reduce the amount of heat entering the building through orientation, shading, high albedo materials, fenestration, insulation and the provision of green infrastructure;
 2. Minimise internal heat generation through energy efficient design;
 3. Manage the heat within building through exposed internal thermal mass and height ceilings;
 4. Provide passive ventilation
 5. Provide mechanical ventilation
 6. Provide active cooling systems
- 9.87 The energy statement runs through these steps and internal heat gains have been reduced through the inclusion of low G-value solar performance windows, through the ratio of wall to windows, blinds and highly insulated wall and floor fabrics. Windows are designed as openable allowing passive ventilation but mechanical ventilation with heat recovery is required to comply with overheating requirements. External air will be supplied through mechanical means to provide ventilation and thermal comfort. Internal heat generation will be reduced by the inclusion of high efficiency lighting and efficient heat exchange units (HIU). No active cooling systems are proposed. Where internal blinds are used as mitigation measures these are included in the base build. Floor to ceiling heights are 2.5m allowing for the provision of ceiling fans for future resilience.
- 9.88 The Energy Strategy submitted is considered acceptable and the condition can be discharged.

Condition 71 Cycle Parking Details

- 9.89 This condition requires that each reserved matters submission included details of cycle parking provision for all users in that phase, the distribution (resident and visitor and location in the development, the type of rack and spacing
- 9.90 The information accompanying the application confirms that cycle parking will be provided at levels in line with the recently adopted London Plan, with around 20% being sized for larger cycles. The provision for Block A will be in an undercroft with segregated access routes provided. All long stay parking will be secure
- 9.91 The details submitted are acceptable and the condition can be discharged.

Condition 73 Car park details

- 9.92 This condition requires that each reserved matters submission shall include details of the layout and number of car parking spaces, including the identification of disabled/blue badge spaces to be allocated to each development plot including those that are in the public realm
- 9.93 The applicant has provided information which confirms that the required car parking parameters will be met:

Resident parking ratio of 0.4 spaces per dwelling.

Disabled parking being provided with 3% from outset and space for a further 7% as required.

Electric vehicle charging at 20% active and 80% passive.

- 9.94 In addition, the undercroft area should have a minimum clearance of 2.6m for routes by vehicles so that larger mobility vehicles can access the disabled spaces being provided. A plan has been provided but the applicant has been asked to confirm given the siting of the disabled bays that sufficient clearance is provided. An update will be provided at the meeting.
- 9.95 The only variances from the agreed parameters appear to be:
- It is unclear if the parking arrangements proposed 5% of spaces for visitors. The applicant has been asked to clarify the position.
 - There are not 6m separation strips between all of the parking bays. However, where this is the case there are only three parking spaces (rather than the four allowed for in the design code) so this is an acceptable approach.
- 9.96 Subject to clarification on the visitor spaces, the details submitted are acceptable and the condition can be discharged

Condition 63 Green and Brown roof details

- 9.97 This condition requires the submission of details of the biodiverse (green/brown) roofs for that phase in compliance with the Design Code and an on-going management and maintenance strategy for them
- 9.99 The design code requires 70% of roofs to be biodiverse with four key categories: intensive with high substrate; semi-intensive with medium substrate; extensive with low substrate; and brown roof with low substrate. The information submitted with the application confirms that the brown and extensive roof types are to be located on the E blocks, whilst the intensive and semi-intensive roof types are on Block A. All species to contribute to the 60% native species ecological requirement across the site. Brown roofs will contribute to natural habitat creation though windblown species. Once or twice yearly inspections are proposed for extensive and brown roofs, whilst intensive roof types will undergo general on going landscape maintenance.
- 9.100 The information submitted is considered acceptable and the condition can be discharged.

Condition 86 Wind Assessment

- 9.101 This condition requires each reserved matters submission to include a detailed assessment of wind effects and related mitigation for that phase.
- 9.102 A wind assessment has been submitted and this has informed the assessment of the overall scheme design. As set out above there remains a residual issue around the detail within Podium to Plot A and this has been highlighted to the applicant. A condition is recommended to allow for the issues to be addressed.
- 9.103 The details submitted are acceptable for the purpose of discharge of the condition.

10 Community Infrastructure Levy

- 10.1 Only the Mayor of London CIL2 would be payable on this scheme to support the development of appropriate infrastructure. For the purposes of Enfield CIL,

residential development within Meridian Water has nil liability. A formal determination of the CIL liability would be made when a Liability Notice is issued should this application be approved. Based on the Mayor's Charging Schedules, the total level of CIL is expected to be in the order of £161, 000 (based on current details, certain scheme assumptions, indexation assumptions and inclusion of relief).

11 Conclusion

- 11.1 Outline planning permission has already been granted for the redevelopment of this site and established the parameters within which development should come forward. This application in comprising reserved matters pursuant to this outline planning permission has been assessed in that context.
- 11.2 The development proposed through this submission largely complies with the outline parameters, with the exception of the few minor deviations referenced throughout this report. Those deviations are design-led and are supported. The development proposed will not result in any new or worse significant effects in addition to those identified within the Environmental Statement submitted with the outline planning application
- 11.3 The development will provide good quality residential units for the benefit of future residents. The blocks overall are well designed and articulated and will make a positive contribution to the character and appearance of the locality.
- 11.4 This phase of development will see an uplift in the quantum of affordable housing to be delivered across Phase 1 and the early delivery of a significant quantum of affordable family sized units.
- 11.5 The development is recommended for approval

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Rev	Description	Date
P1	For Review	25.09.20
P2	Planning	02.10.20
P3	Planning	21.10.20

Key

- Planning Application Boundary
- Off-site Highway Works
- Land Outside the Application Site but within Ownership of the Applicant



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Project
Meridian One
LB Enfield

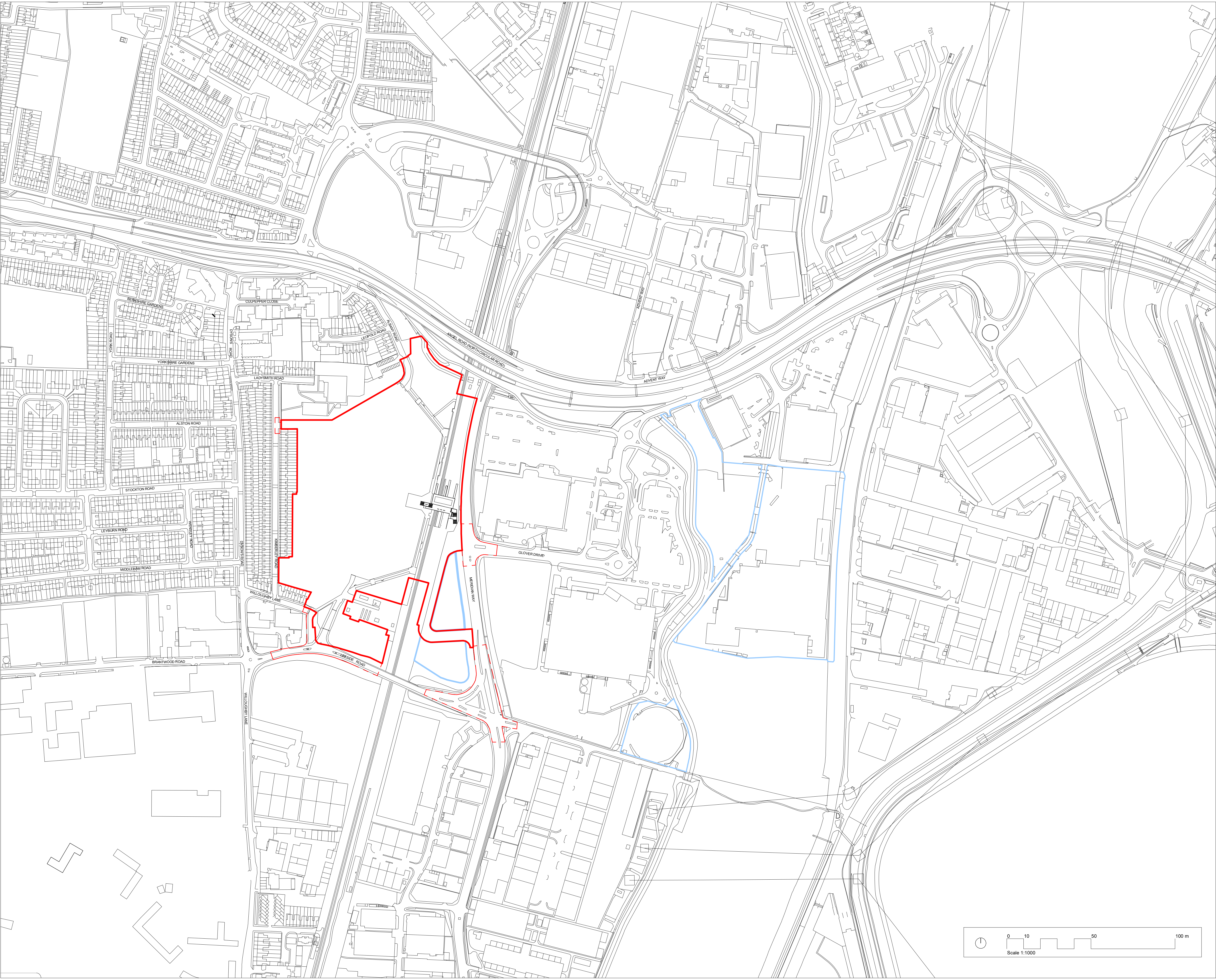
Drawing
Site Location Plan

Scale @ A1 1 : 2500	Date 25/09/20
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Drawn By JM	Checked By NF
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Job Number 19062	Status A2	Purpose of Issue Planning
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Drawing No. MO-HBA-ZZ-XX-DR-A-06-0002	Rev P3
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GA Plan Legend

1B 2P	4B 7P (D)
2B 3P	4B 7P (T)
2B 3P (D)	4B 8P (D)
2B 4P	4B 8P (T)
2B 4P (D)	B1 Flexible Workspace
3B5P	Bikes
3B 4P	Bins
3B 4P (D)	Cleaners store
3B 5P	D1 Community
3B 5P (D)	D2 Leisure
3B 6P	Plant
3B 6P (D)	PRS Ancillary Use
4B 5P (D)	Retail
4B 6P	Studio
4B 6P (D)	
4B 7P	

Redline Boundary

Phase 1A

Phase 1B

Rev	Description	Date
P1	For Review	25.09.20
P2	Planning	02.10.20
P3	Planning	21.10.20
P4	Planning	09.11.20

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Scale @ A1 1 : 500	Date 25/09/20	Job Number 19062	Project Meridian One LB Enfield
Drawn By NF	Checked By NF	Status A2	
Drawing No. MO-HBA-ZZ-00-DR-A-07-1000	Rev P4	Purpose of Issue Planning	Drawing Phase 1A Proposed Sitewide GA Plan - Level 00

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MATERIAL KEY

1. Bricks/Stone - extent and location as indicated on design drawings

- 1A. Brick 1 - (Darkest tone) multi-stock Red Brown brick in stretcher bond (dark)
- 1B. Brick 1 - (Darkest tone) multi-stock Red Brown 'Corduroy' brick in detailing (dark)
- 1C. Brick 1 - (Darkest tone) multi-stock Red Brown brick 'Soldier' course (dark)
- 1D. Brick 1 - (Darkest tone) multi-stock Red Brown stepped brick coursing (dark)
- 1E. Brick 2 - (Mid tone) multi-stock Pink/brown brick in stretcher bond (medium)
- 1F. Brick 2 - (Mid tone) multi-stock Pink/brown brick 'Corduroy' (medium)
- 1G. Brick 2 - (Mid tone) multi-stock Pink/Brown brick 'Soldier' course (medium)
- 1H. Brick 2 - (Mid tone) multi-stock Pink/Brown stepped brick coursing (medium)
- 1I. Brick 2 - (Mid tone) multi-stock Pink/brown Vertical header pattern (for roof)

- 1J. Brick 3 - (Lighter tone) multi-stock Cream Buff brick in stretcher bond (light)
- 1K. Brick 3 - (Lighter tone) multi-stock Cream Buff brick 'Corduroy' brick detailing (light)
- 1L. Brick 3 - (Lighter tone) multi-stock Cream Buff brick 'Soldier' course (light)
- 1M. Brick 3 - (Lighter tone) multi-stock Cream Buff brick stepped brick coursing (light)

- 1N. Brick 4 - Checkerboard Red and Buff
- 1O. Brick 5 - Olive green glazed bricks

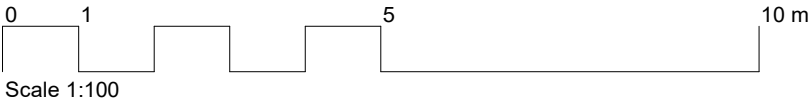
- 1P. Recessed vertically stepped brick entrance Brick 1 - (Darkest tone) multi-stock Red Brown brick in stretcher bond (dark)
- 1Q. Stone 1 - Pigmented reconstituted cast stone - colour: Red brown (dark)
- 1R. Stone 1 - Red brown stepped profile (dark)
- 1S. Stone 1 - Pigmented reconstituted cast stone banding - colour: Red brown (dark)
- 1T. Stone 1 - Pigmented reconstituted cast stone striated roof detail - colour: Red brown (dark)
- 1U. Brick 3 - (Lighter tone) multi-stock Cream Buff brick Vertical header pattern (for roof)
- 1V. Stone 2 - Pigmented reconstituted cast stone - colour: Cream Buff

2. Balconies

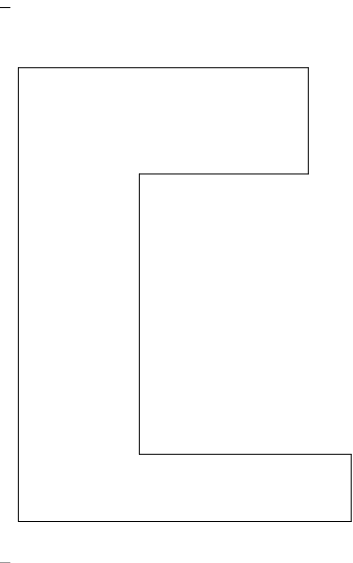
- 2A. Brick balustrade with Polyester Powder Coated Olive Green metal railing
- 2B. Recessed balcony brick balcony with Polyester Powder Coated Olive Green metal railing
- 2C. Olive Green Polyester Powder Coated balustrade railing
- 2D. Polyester Powder Coated continuous metal sheet soffit with hidden fixings
- 2E. 300mm Upstand Brick wall to Match Brick 1 - (Darkest tone) multi-stock Red Brown brick in stretcher bond (dark) with Olive Green metal railing

3. Windows and Doors

- 3A. Unitised glazing system with Olive Green Polyester Powder Coated metal window frames
- 3B. Olive green spandrel panels
- 3C. Red brown dark spandrel panels
- 3D. Olive Green Polyester Powder Coated Juliette balustrade railing
- 3E. Unitised glazing system with Olive Green PPC metal spandrel panels
- 3F. Olive green Polyester Powder Coated glazed lobby entrance doors
- 3G. Olive green Polyester Powder Coated aluminium balcony doors
- 3H. Perforate Profile Olive Green PPC metal panel doors to Podium/Cark Park Entrance
- 3I. Perforate Profile Olive Green PPC metal panel doors to refuse stores
- 3J. Polyester Powder Coated metal matched to Brick 1 - (Darkest tone) Red Brown on Entrance Doors with high level glazing to individual maisonettes
- 3K. Olive green Polyester Powder Coated metal Entrance Doors to individual units on Deck levels





KEY PLAN



Rev	Description	Date
P01	Stage 2 Issue	07/09/20
P02	Draft RMA Issue	11/09/20
P03	Issue to Meridian Water Team	25/09/20
P04	Issue to CBRE Planning Consultant	02/10/20
P05	Final Planning Issue	21/10/20
P06	Revisions as per LBE's comments	11/03/21

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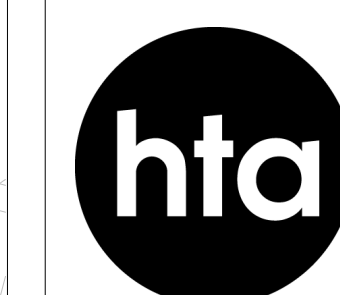
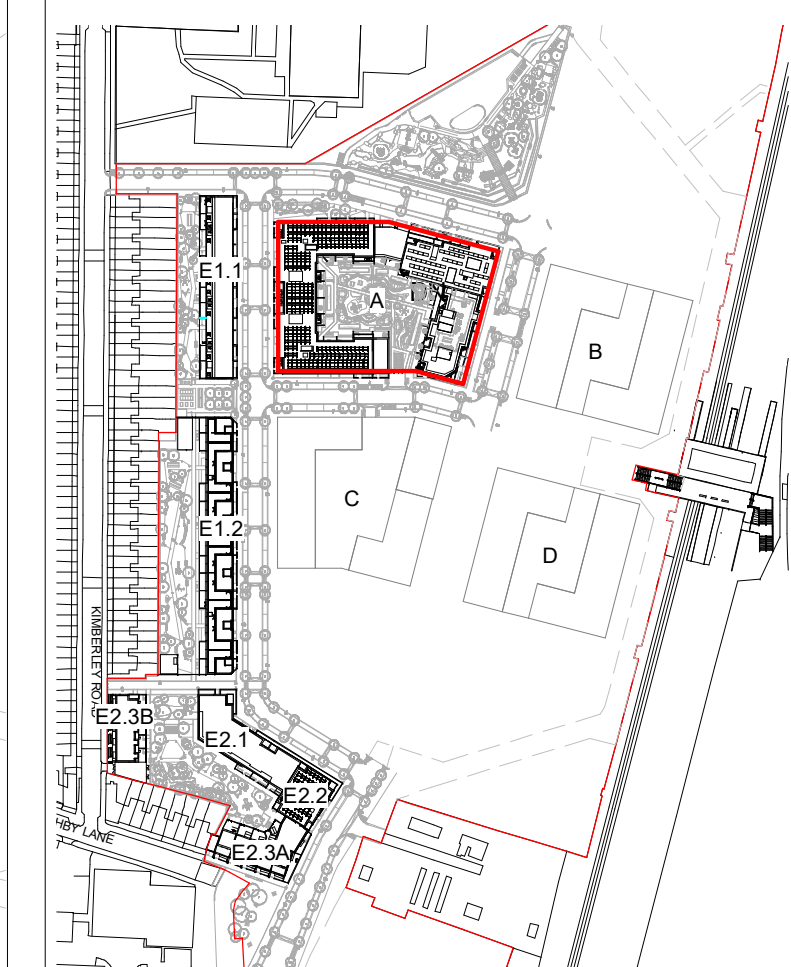
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Scale @ A1 1:100	Date 11/09/20	Job Number GTP-MER	Project Meridian One LB Enfield	<div></div>
Drawn By AOR	Checked By ES	Status A2		
Drawing No. GTP-MER-HTA-A2-ZZ-DR-A-08-2103	Rev P06	Purpose of Issue Planning	Drawing A2 West Elevation	
HTA Design LLP www.hta.co.uk				
London Edinburgh Manchester Bristol				

Rev	Description	Date
P1	For Review	25.09.20
P2	Planning	02.10.20
P3	For Review	14.10.20
P4	Planning	21.10.20
P5	Revision to Internal Car Park Layout Block A and 2B4P Unit on A1.2	05.11.20
P6	Planning Revisions	18.03.21

Rev	Description	Date
P1	For Review	25.09.20
P2	Planning	02.10.20
P3	For Review	14.10.20
P4	Planning	21.10.20
P5	Revision to Internal Car Park Layout Block A and 2B4P Unit on A1.2	05.11.20
P6	Planning Revisions	18.03.21

— Plot A Boundary Line



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Drawing
Plot A GA Plan Level 00

Drawn By JM	Checked By TF
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Drawing No.
MO-HBA-A-00-DR-A-07-2000



GA Plan Legend

1B 2P	4B 7P (D)
2B 3P	4B 7P (T)
2B 3P (D)	4B 8P (D)
2B 4P	4B 8P (T)
2B 4P (D)	B1 Flexible Workspace
3B5P	Bikes
3B 4P	Bins
3B 4P (D)	Cleaners store
3B 5P	D1 Community
3B 5P (D)	D2 Leisure
3B 6P	Plant
3B 6P (D)	PRS Ancillary Use
4B 5P (D)	Retail
4B 6P	Studio
4B 6P (D)	
4B 7P	



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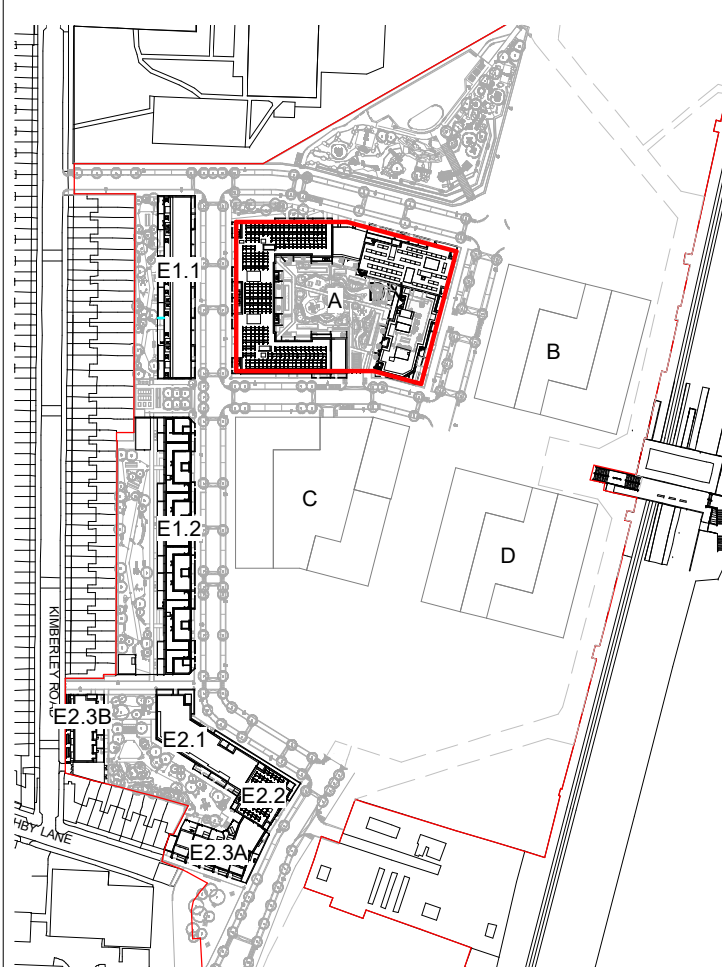
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Rev	Description	Date
P1	For Review	25.09.20
P2	Planning	02.10.20
P3	For Review	14.10.20
P4	Planning	21.10.20

Rev	Description	Date
P1	For Review	25.09.2
P2	Planning	02.10.2
P3	For Review	14.10.2
P4	Planning	21.10.2

Key

— Plot A Boundary Line



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Drawing
Plot A GA Plan Level 01

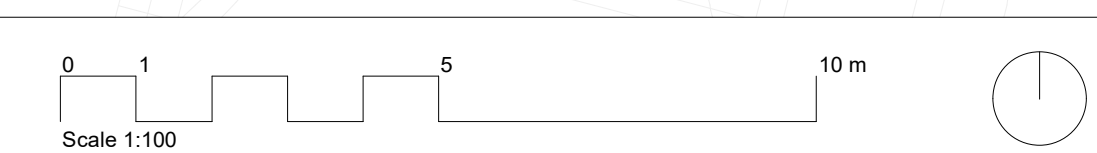
Scale @ A0 As indicated		Date 25/09/20
Drawn By JM		Checked By TF
Job Number 19062	Status A2	Purpose of Issue Planning

Drawing No.	Rev
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GA Plan Legend

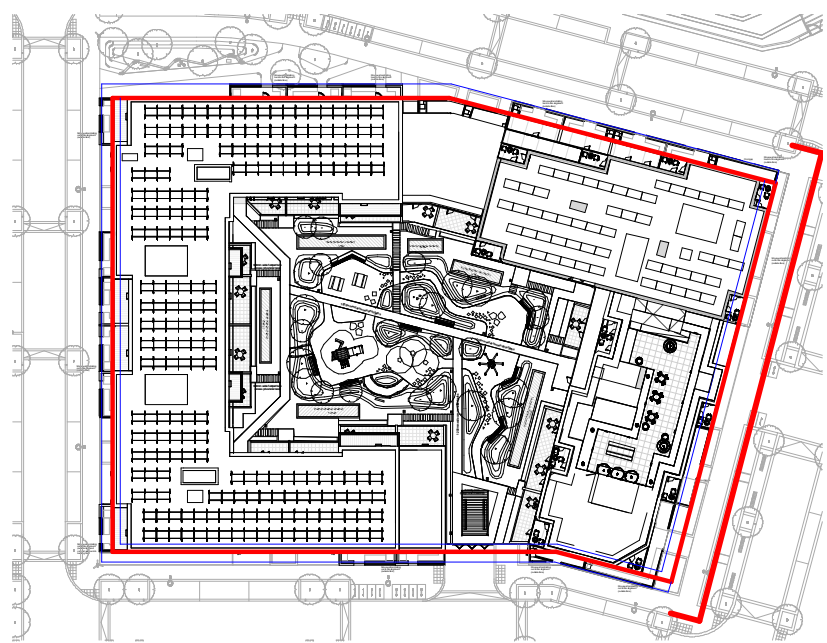
1B 2P	4B 7P (D)
2B 3P	4B 7P (T)
2B 3P (D)	4B 8P (D)
2B 4P	4B 8P (T)
2B 4P (D)	B1 Flexible Workspace
3B5P	Bikes
3B 4P	Bins
3B 4P (D)	Cleaners store
3B 5P	D1 Community
3B 5P (D)	D2 Leisure
3B 6P	Plant
3B 6P (D)	PRS Ancillary Use
4B 5P (D)	Retail
4B 6P	Studio
4B 6P (D)	





1 2502 Plot A GA East Elevation
1 : 100

Key Plan



Key
--- OPP Maximum Height Parameter

0 1 5 10 m
Scale 1:100

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2. Balconies and Railing

2A. Brick balustrade with Polyester Powder Coated Olive Green metal railing

2B. Recessed balcony brick balcony with Polyester Powder Coated Olive Green metal railing

2C. Olive Green Polyester Powder Coated Juliette balustrade railing

2D. Polyester Powder Coated continuous metal sheet soffit with hidden fixings

2E. 300mm Upstand Brick wall to Match Brick 1 - (Darkest tone) multi-stock Red Brown brick in stretcher bond (dark) with Olive Green metal railing

2F. Powder coated metal soffit to match brick tone

3. Windows and Doors

3A. Unitised glazing system with Olive Green Polyester Powder Coated metal window frames

3B. Olive green spandrel panels

3C. Red brown dark spandrel panels

3D. Olive Green Polyester Powder Coated Juliette balustrade railing

3E. Unitised glazing system with Olive Green PPC metal spandrel panels

3F. Olive green Polyester Powder Coated glazed lobby entrance doors

3G. Olive green Polyester Powder Coated aluminium balcony doors

3H. Perforate Profile Olive Green PPC metal panel doors to Podium/Cark Park Entrance

3I. Perforate Profile Olive Green PPC metal panel doors to refuse stores

3J. Polyester Powder Coated metal matched to Brick 1 - (Darkest tone) Red Brown on Entrance Doors with high level glazing to individual masonettes

3K. Olive green Polyester Powder Coated metal Entrance Doors to individual units on Deck levels

Scale @ A0

As indicated

Drawn By

RB

Drawing No.

MO-HBA-A-XX-DR-A-08-2502

Date

25/09/20

Checked By

TF

Rev

P4

Job Number

19062

Status

A2

Purpose of Issue

Planning

Project

Meridian One
LB Enfield

Drawing

Plot A GA East Elevation

109 St John Street
London EC1V 4JLmailto:hawkinsbrown.com
hawkinsbrown.com

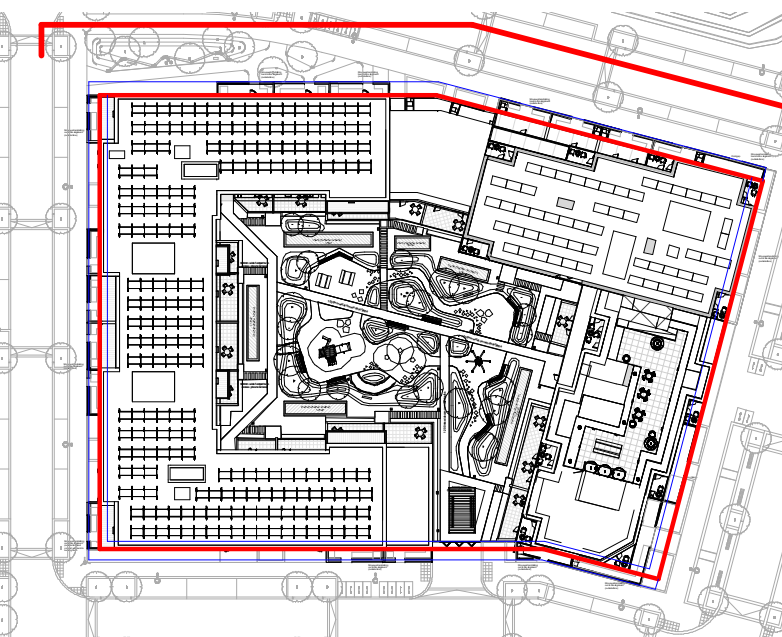
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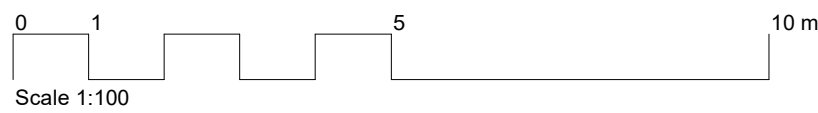


1 2500 Plot A GA North Elevation
1 : 100

Key Plan



Key
--- OPP Maximum Height Parameter



Rev	Description	Date					Scale @ A0	Date	Job Number	Project	<div>159 St John Street London EC1V 4JZ info@hawkinsbrown.com hawkinsbrown.com</div> <div>HawkinsBrownhta</div>
P1	For Review	25.09.20					As indicated	25/09/20	19062	Meridian One	
P2	Planning	02.10.20					Drawn By	Checked By	Status	LB Enfield	
P3	Planning	21.10.20					RB	TF	A2		
P4	Planning						Drawing No.	Rev	Purpose of Issue	Drawing	
							MO-HBA-A-XX-DR-A-08-2500	P4	Planning	Plot A GA North Elevation	

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1L. Brick 3 - (Lighter tone) multi-stock Cream Buff brick 'Soldier' course (light)
1M. Brick 3 - (Lighter tone) multi-stock Cream Buff brick stepped brick coursing (light)

1N. Brick 4 - Checkerboard Red and Buff
1O. Brick 5 - Olive green glazed bricks

1P. Recessed vertically stepped brick entrance Brick 1 - (Darkest tone) multi-stock Red Brown brick in stretcher bond (dark)
1Q. Stone 1 - Pigmented reconstituted cast stone- colour: Red brown (dark)
1R. Stone 1 - Red brown stepped profile (dark)

1S. Stone Coping to Parapet
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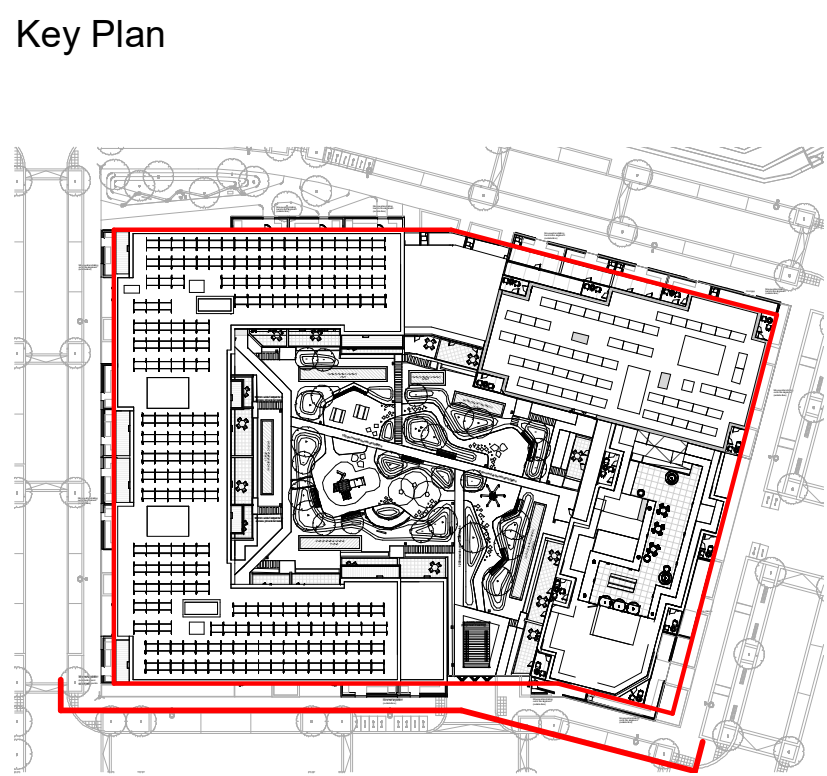
2E. 300mm Upstand Brick wall to Match Brick 1 - (Darkest tone) multi-stock Red Brown brick in stretcher bond (dark) with Olive Green metal railing
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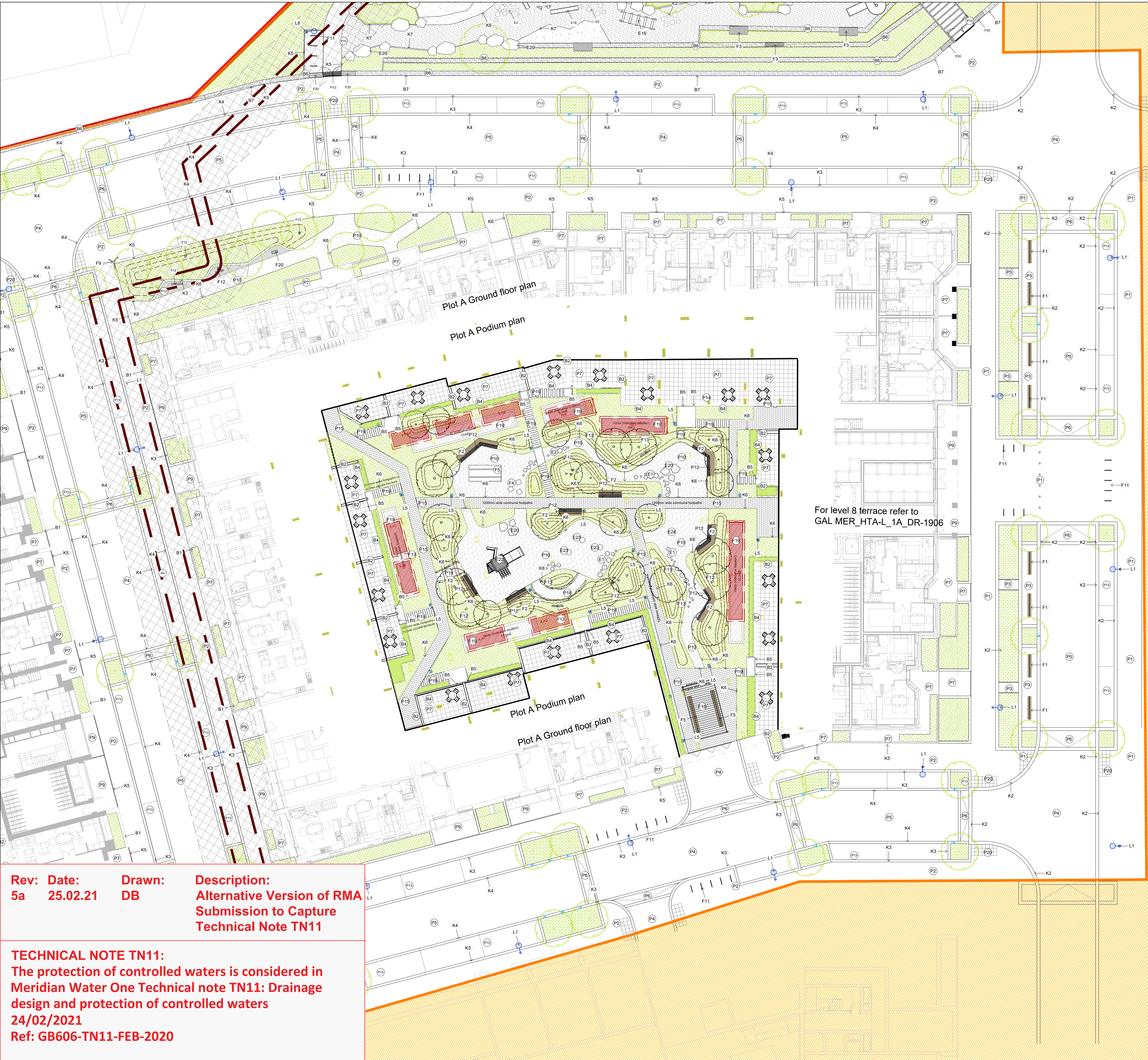
1 2501 Plot A GA South Elevation
1 : 100



Key
--- OPP Maximum Height Parameter
0 1 5 10 m
Scale 1:100

Rev	Description	Date											Scale @ A0	Date	Job Number	Project	<div>109 St John Street London EC1V 4JL info@hawkinsbrown.com hawkinsbrown.com</div> <div>HawkinsBrownhta</div>				
P1	For Review	25.09.20	<div>Copyright Hawkins Brown Architects</div> <div>No implied licence exists. This drawing should not be used to calculate areas for the purposes of valuation. Do not scale this drawing. All dimensions to be checked on the site by the contractor and such dimensions to be their responsibility. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect. To be read in conjunction with Architect's specification and other consultant information.</div>										As indicated	25/09/20	19062	Status A2				Purpose of Issue Planning	Drawing Plot A GA South Elevation
P2	Planning	02.10.20																			
P4	Planning	21.10.20																			
P5	Revision to Internal Car Park Layout Block A	05.11.20																			
													Drawn By RB	Checked By TF							
													Drawing No. MO-HBA-A-XX-DR-A-08-2501	Rev P5							

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Notes:

- All drawings to be read in conjunction with Architects drawings.
- Refer to MLM for all external lighting information.
- Refer to Walsh for above ground drainage and all services
- Refer to Walsh drawings for below ground drainage
- All levels indicative of existing and adjoining. Refer to Walsh drawings for highways / civil's levels

LEGEND

Phase 1A boundary
Site boundary

Hardscape

- P1 Natural stone paver - station square
- P2 Concrete paver - footway
- P3 Natural stone paver - footway
- P4 Concrete paver - raised tables
- P5 Concrete paver - shared surfaces
- P6 Natural stone setts - carriageway ramps
- P7 Clay pavers - residential dwellings
- P8 Mulch - loose laid
- P9 Clay paver - communal routes
- P10 Resin bound gravel - pathways
- P11 Tiger mulch - soft play
- P12 Reclaimed cobbles - communal gardens
- P13 Permeable block paver - parking bays
- P14 Porcelain tiles
- P15 Clay pavers
- P16 Wepour safety surfacing
- P17 Timber sleeper
- P18 Self binding gravel
- P19 Stepping stones
- P20 Tactile blister paving
- P21 Tactile corduroy paving
- P22 Insitu concrete steps

Edgings

- K1 Upstand kerb - Granite - 350mm wide
- K2 Flush kerb - granite - 350mm wide
- K3 Upstand kerb - granite - 250mm wide
- K4 Flush kerb - granite - 250mm wide
- K5 Pin kerb - concrete - 63mm wide
- K6 Aluminium edge - 75x150mm
- K7 Timber edge - 150 x 25 mm
- K8 Log edge - reclaimed

Walls and Railings

- B1 Brick wall - 300mm height + railing
- B2 Brick wall - 1200mm height
- B3 Brick wall - 1800mm height
- B4 Railing - 1100mm height
- B5 Metal gate - height varies
- B6 Gabion wall - height varies
- B7 Play area fence and gate - 1500mm ht
- B8 Railing fence and gate - 1800mm ht

Site Fixtures

- F1 Timber seating bench (double beam)
- F2 Timber slat bench
- F3 Timber slat seating top
- F4 Timber slat cube
- F5 Picnic table and benches
- F6 Flat bar handrail
- F7 Litter bins
- F8 Bollard
- F9 Finger post
- F10 Drinking fountain
- F11 Cycle stand
- F12 Bird boxes
- F13 Bug hotel
- F14 Log pile
- F15 Allotment planter
- F16 Pergola
- F17 Bespoke cycle shelter
- F18 Obelisk
- F19 Ventilation gratings
- F20 Entrance sign
- F21 Compost bins
- F22 Community building
- F25 Cycle maintenance tools and stand

Levels and drainage

- 3.89 Existing Levels
- 4.50 Proposed Levels
- 1:40 Gradient
- Contours
- Kerb Drain
- Gully location indicative

Hardscape

- P7 Clay pavers - Private terraces
- P8 Loose laid mulch - informal paths
- P10 Resin bound gravel - informal paths
- P15 Clay paver - podium terrace walkways
- P16 Wepour play surface - play zone
- P19 Stepping stones

Edgings

- K6 Aluminium edge - 75x150mm
- K8 Log edge - reclaimed

Walls and Railings

- B2 Brick wall - 1500mm height
- B4 Metal railing - 1200mm height
- B5 Metal gate - 1200mm height

Site Fixtures

- F2 F2 Timber slat bench
- F12 F12 Bird box
- F13 F13 Bug hotel
- F15 F15 Pergola
- F19 F19 Ventilation gratings
- F23 F23 Moveable planters
- F24 F24 Steel planters 1100mm ht
- E1 E1 Stepping disc logs
- E2 E2 Stepping logs
- E4 E4 Play tree
- E20 E20 Stone play boulders
- E22 E22 Climbing frame
- E23 E23 Turning tyres
- E24 E24 Teepee

Legend

- +3.89 Existing Levels
- +4.50 Proposed Levels

Lighting - Indicative

- L1 L1 Column light subject to Lux levels
- L2 L2 Downlit bollard
- L3 L3 Tree uplighter - hard
- L4 L4 Tree uplighter - soft
- L5 L5 Downlit bollard low
- L6 L6 Wall luminaire
- L7 L7 Downlit bollard industrial
- L8 L8 Column light wooden clad
- L9 L9 Car charging point

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PLOT A PODIUM LEGEND

- Phase 1A boundary
- Site boundary

Hardscape

- P7 Clay pavers - Private terraces
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Edgings

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Walls and Railings

- B2 Brick wall - 1500mm height
- B4 Metal railing - 1200mm height
- B5 Metal gate - 1200mm height

Site Fixtures

- F2 F2 Timber slat bench
- F12 F12 Bird box
- F13 F13 Bug hotel
- F15 F15 Pergola
- F19 F19 Ventilation gratings
- F23 F23 Moveable planters
- F24 F24 Steel planters 1100mm ht
- E1 E1 Stepping disc logs
- E2 E2 Stepping logs
- E4 E4 Play tree
- E20 E20 Stone play boulders
- E22 E22 Climbing frame
- E23 E23 Turning tyres
- E24 E24 Teepee

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- L2 L2 Downlit bollard
- L3 L3 Tree uplighter - hard
- L4 L4 Tree uplighter - soft
- L5 L5 Downlit bollard low
- L6 L6 Wall luminaire
- L7 L7 Downlit bollard industrial
- L8 L8 Column light wooden clad
- L9 L9 Car charging point

Refer to Landscape Outline Specification for details of all hard landscape, furniture and play elements.

Rev	Date	Drawn	Description
5	04.11.20	IH	Revised issue for RMA submission
4	21.10.20	IH	Issued for RMA submission
3	18.10.20	IH	Revised issue for Planning
2	02.10.20	IH	Revised issue for information
1	25.09.20	IH	Revised draft issue for information
-	11.09.20	IH	First draft issue for information

Rev Date Drawn Description

FOR INFORMATION

client / project
Vistry Partnerships
MERIDIAN ONE PHASE 1A

drawing title
General Arrangement plan 2
of 5

drawing number	revision
GAL-MER_HTA-L_1A_DR_1902	5

scale @ A1
1:200
IH

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Rev: 5a Date: 25.02.21 Drawn: DB Description: Alternative Version of RMA Submission to Capture Technical Note TN11

TECHNICAL NOTE TN11:
The protection of controlled waters is considered in Meridian Water One Technical note TN11: Drainage design and protection of controlled waters
24/02/2021
Ref: GB606-TN11-FEB-2020

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LEGEND

- Phase 1A boundary
Site boundary
Proposed tree
Planting refer to Planting plans

Hardscape

- P1 Natural stone paver - station square
P2 Concrete paver - footway
P3 Natural stone paver - footway
P4 Concrete paver - raised tables
P5 Concrete paver - shared surfaces
P6 Natural stone setts - carriageway ramps
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L6 Wall luminaire
L7 Downlight bollard industrial
L8 Column light wooden clad
L9 Car charging point

Refer to Landscape Outline Specification for details of all hard landscape, furniture and play elements.

5	04.11.20	IH	Revised issue for RMA submission
4	21.10.20	IH	Issued for RMA submission
3	16.10.20	IH	Revised issue for Planning
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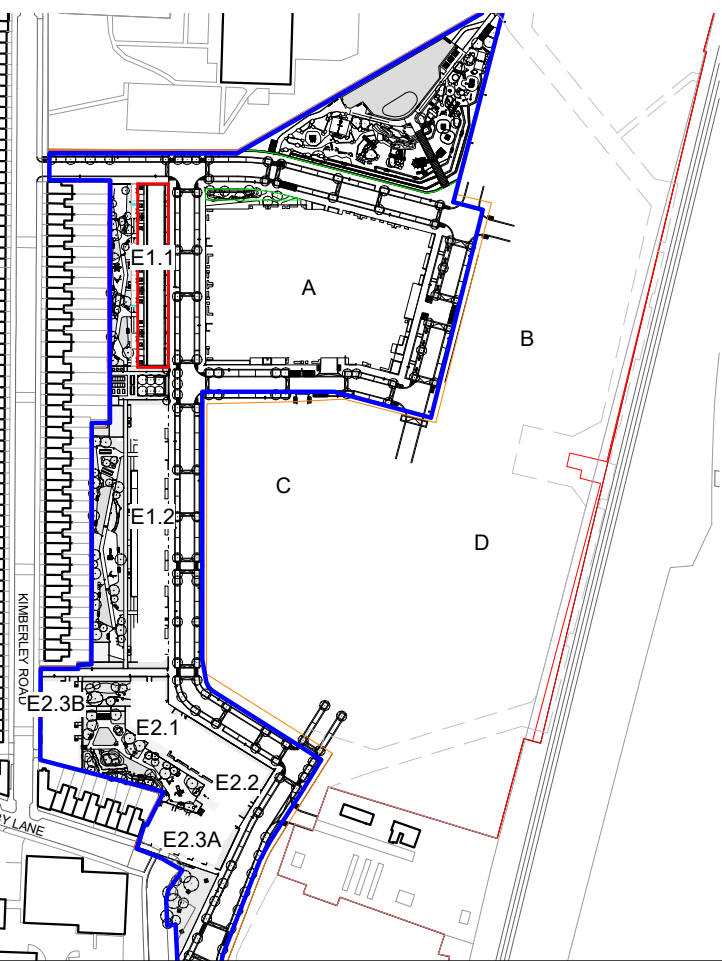
1 Block E1.1 - GA Plan Level 00
1 : 100



Note: All dimensions to be checked on the site by the contractor and such dimensions to be their responsibility. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect. To be read in conjunction with Architect's specification and other consultant information.

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Rev	Description	Date
P2	Planning	02.10.20
P3	Planning	05.10.20
P3	Planning	19.10.20
P4	Planning	11.03.21



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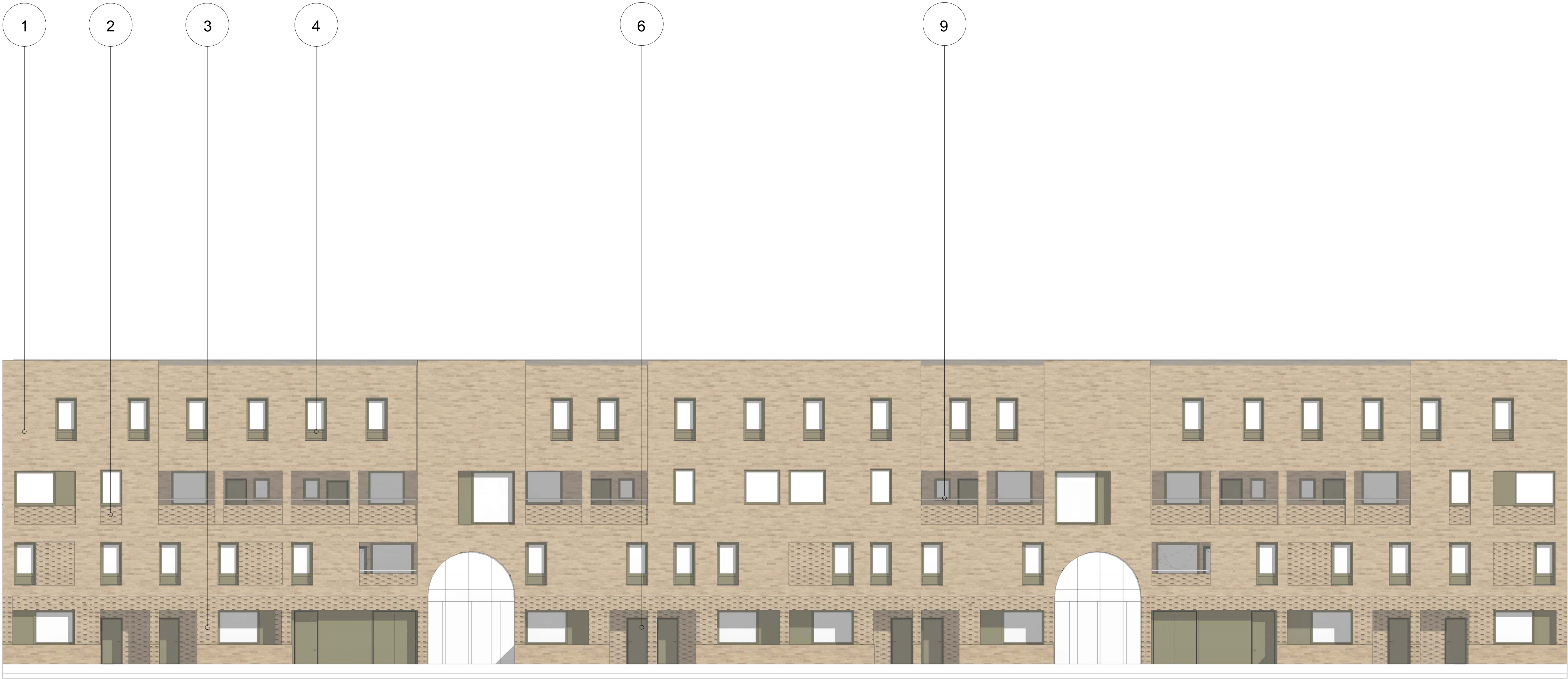
Project
Meridian One
LB Enfield

Drawing
Plot E1.1 GA Plan Level 00

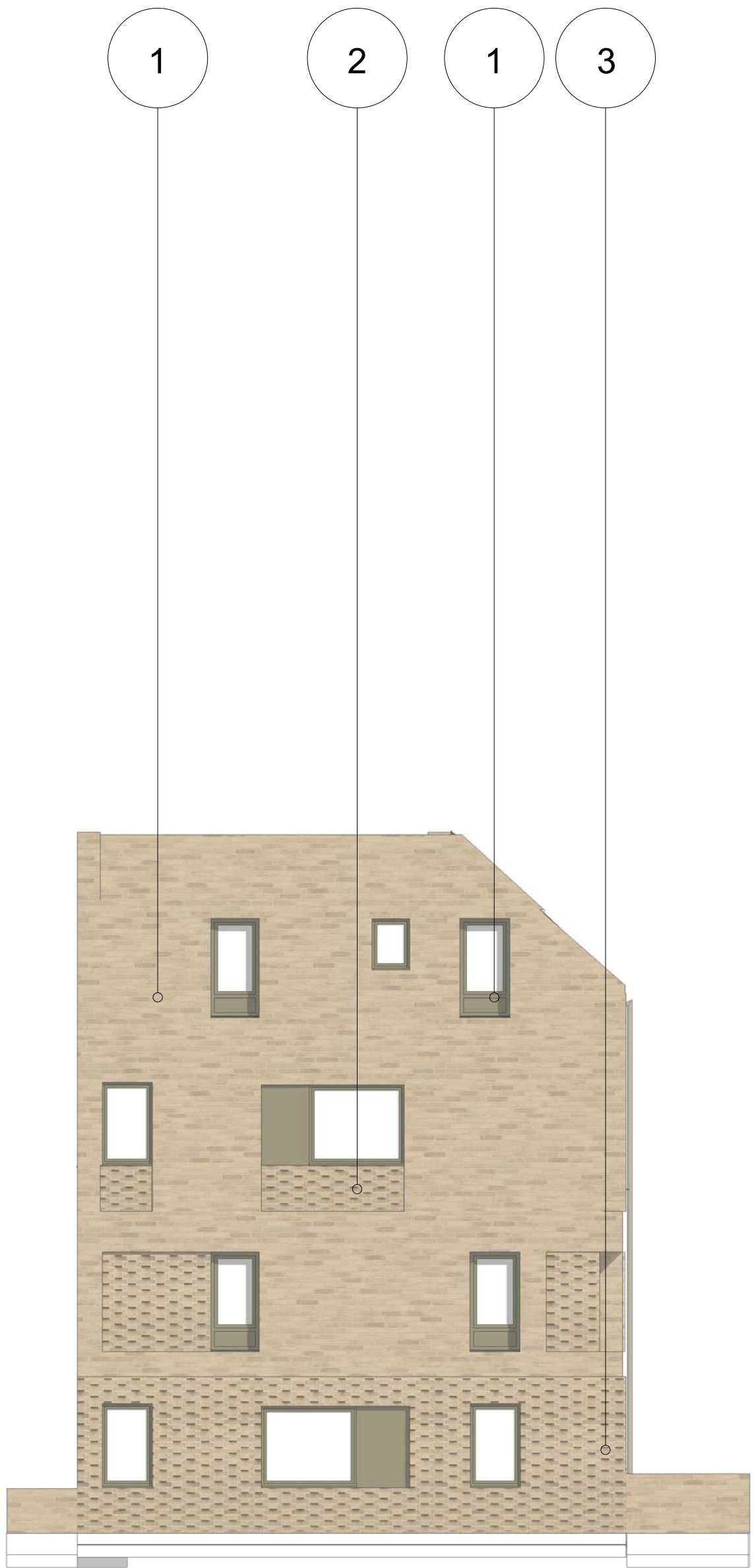
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Drawn By YB		Checked By NA
Job Number 19062	Status A2	Purpose of Issue Planning

Drawing No.
MO-UPB-E1-1-00-DR-A-07-1010

Rev
P4



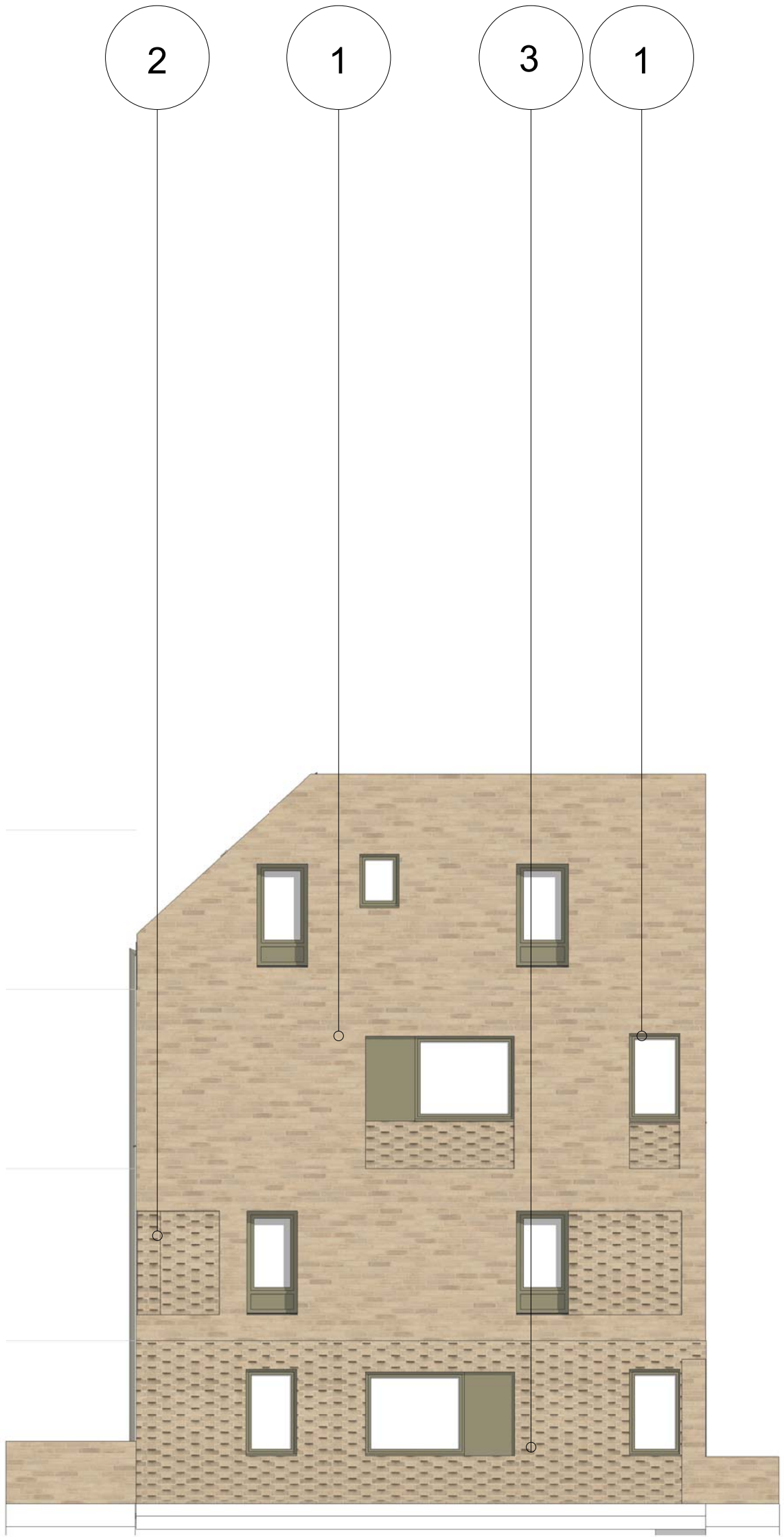
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2 North Elevation
1 : 100

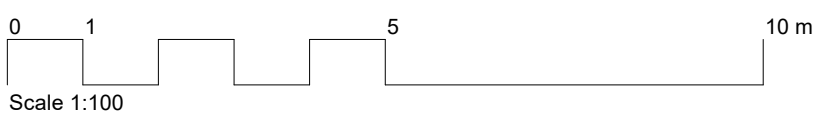


3 West Elevation
1 : 100



4 South Elevation
1 : 100

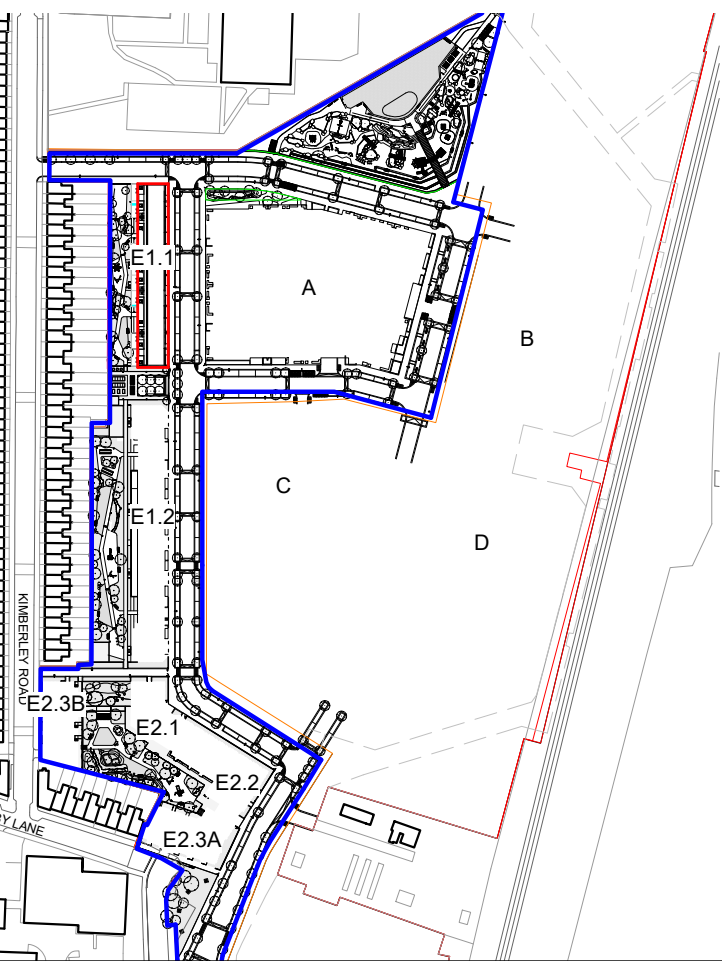
- 1 **BRICK TYPE A:** LIGHT COLOURED BUFF BRICK
2 **BRICK TYPE B:** SLIGHTLY RECESSED SECTION OF PATTERNED BRICK (LIGHT COLOURED BUFF BRICK)
3 **BRICK TYPE C:** PATTERNED BRICK (LIGHT COLOURED BUFF BRICK)
4 **PPC ALUMINIUM COMPOSITE DOUBLE GLAZED DOORS AND WINDOWS**
5 **PPC ALUMINIUM FLAT PANEL** (OPENABLE WHERE INDICATED)
6 **PPC ALUMINIUM FLAT PANEL ENTRANCE DOORS WITH FIXED SIDE PANELS AND GLAZED FANLIGHT ABOVE**
7 **DARK COLOURED ROOF TILES**
8 **PPC ALUMINIUM FLASHING**
9 **PPC HORIZONTAL BALUSTRADE ON TOP OF MASONRY BALUSTRADE**
10 **PPC ALUMINIUM RWP's**



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Rev	Description	Date
P2	Planning	02.10.20
P3	Planning	05.10.20
P3	Planning	19.10.20
P4	Planning	11.03.21



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Project
Meridian One
LB Enfield

Drawing
Plot E1.1 GA Elevations

Scale @ A0
As indicated

Date
11/03/21

Drawn By
YB

Checked By
NA

Job Number
19062

Status
A2

Purpose of Issue
Planning

Drawing No.
MO-UPB-E1-1-XX-DR-A-08-2010

Rev
P4

Rev	Description	Date
P4	Issued for Planning	20.10.20
P5	Issued for Planning	22.03.21

GA Plan Legend

- 1B 2P

2B 3P

2B 3P (D)

2B 4P

2B 4P (D)

3B 4P

3B 4P (D)

3B 5P

3B 5P (D)

3B 6P

3B 6P (D)

4B 5P (D)

4B 6P

4B 6P (D)

4B 7P
- 4B 7P (D)

4B 7P (T)

4B 8P (D)

B1 Workspace

Bikes

Bins

Cleaners store

D1 Community

D2 Leisure

Garden

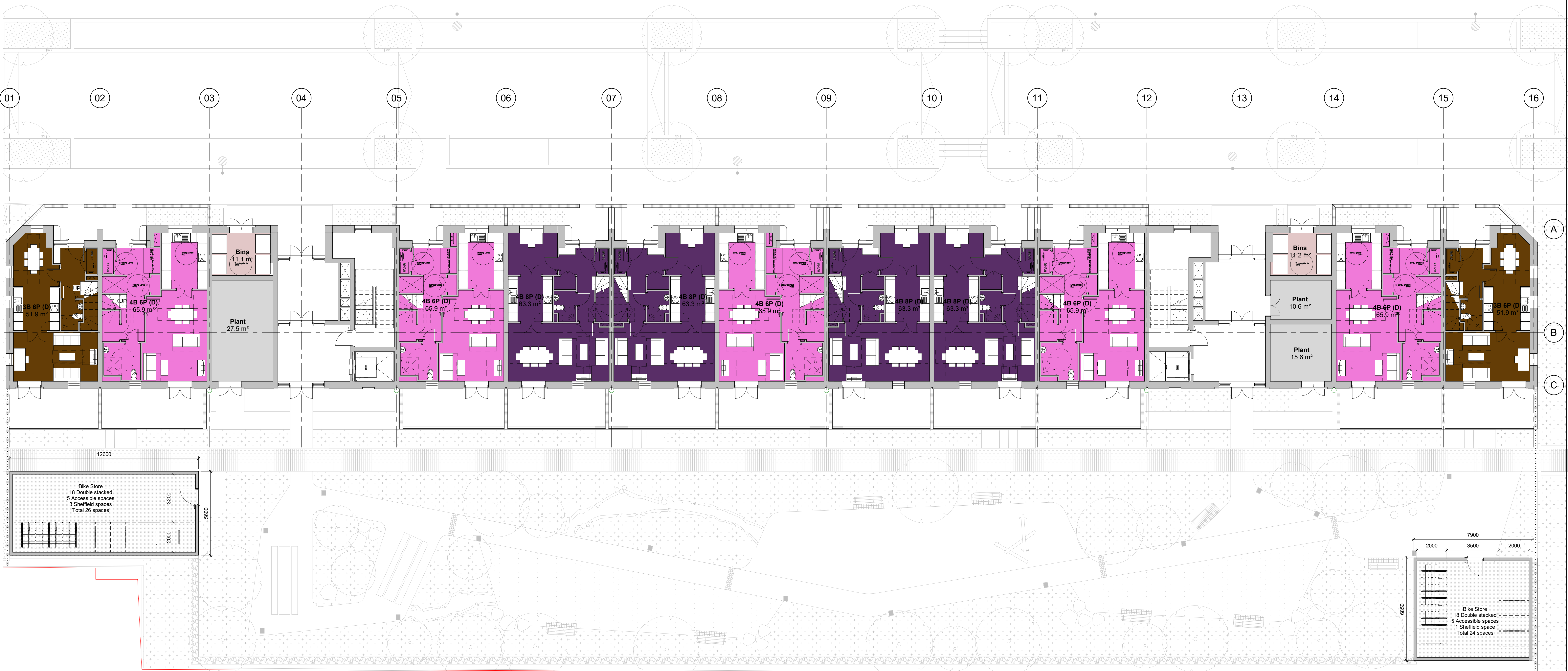
Lobby

Plant

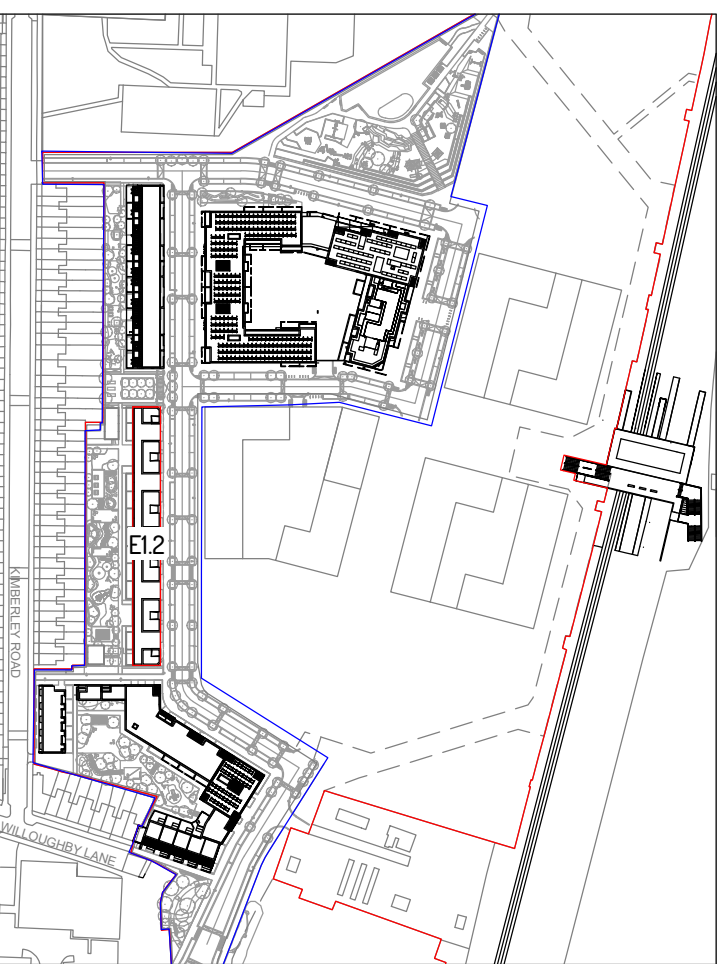
PRS Ancillary Use

Retail

Studio



1 Level 0 - Phase 1A
1 : 100



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Meridian One

Drawing Title
Plot E1.2 - GA Plan Level 00
Phase 1A

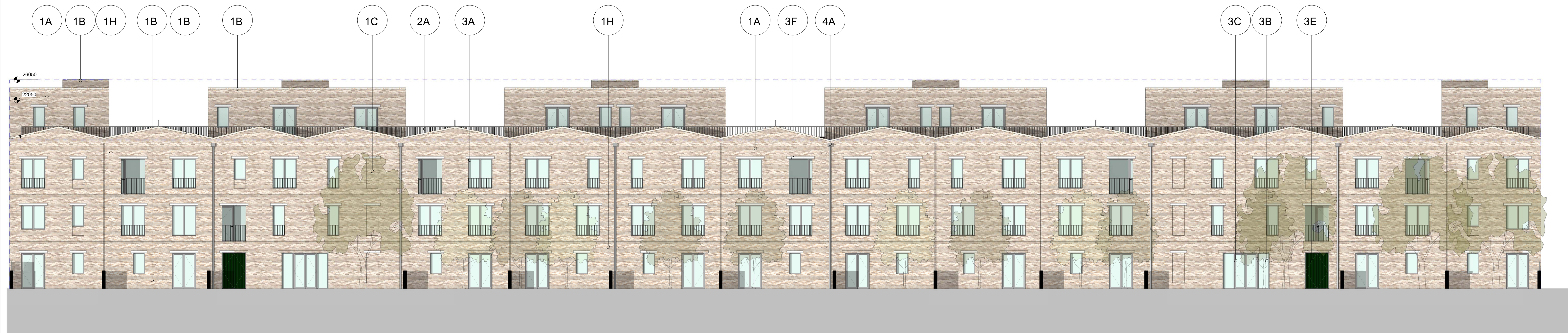
Date 22/03/21	Scale 1:100
Drawn By YC	Checked By RF
Job No. J20010	Purpose of Issue Planning
Drawing Number M0-FCA-E1-2-GF-DR-A-07-1010	Revision P5

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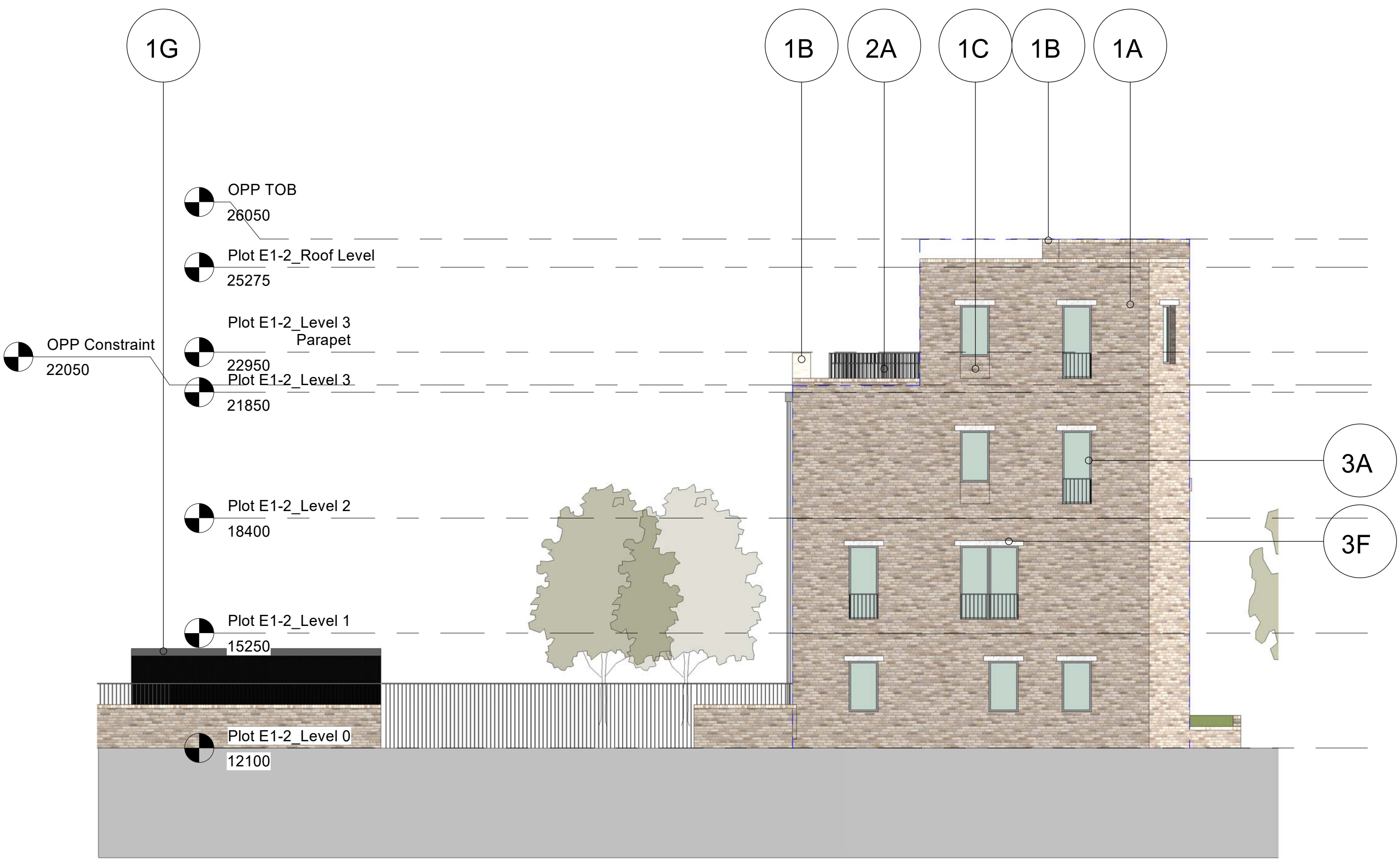
1 East Elevation - Phase 1A
1 : 100



2 West Elevation - Phase 1A
1 : 100



3 North Elevation - Phase 1A
1 : 100



4 South Elevation - Phase 1A
1 : 100

INDICATIVE MATERIAL KEY

1. External Walls - extent and location as indicated on design drawings
- 1A. Brick 1 - Buff multi-stock brick in stretcher bond
 - 1B. Brick 1 - Buff multi-stock brick on edge rowlock course
 - 1C. Brick 1 - Buff multi-stock brick inset in stretcher bond
 - 1D. Brick 1 - Buff multi-stock recessed patterned brickwork
 - 1E. Brick 1 - Buff multi-stock brick stacked header course
 - 1F. Light grey pre-cast concrete coping
 - 1G. Pre-fabricated timber clad metal frame external bike stores.
 - 1H. Atrricks to match brick colour. Final locations and numbers to be confirmed.

2. Balconies/Terraces

- 2A. Powder coated steel railings in achromatic silver finish
- 2B. Powder coated continuous metal sheet soffit with hidden fixings

3. Windows, Doors and Entrances

- 3A. Achromatic silver powder coated aluminium window frames
- 3B. Achromatic silver powder coated aluminium glazed panel
- 3C. Achromatic silver powder coated aluminium communal entrance doors
- 3D. Forest green stained timber front doors
- 3E. Forest green powder coated profiled doors to refuse stores/plant rooms
- 3F. Light grey precast concrete lintels
- 3G. Light pistachio glazed ceramic tiles
- 3H. Natural marble keystone
- 3I. Achromatic silver powder coated steel railings
- 3J. Light grey precast concrete panel

4. Rainwater Goods

- 4A. Galvanised steel hopper and downpipe

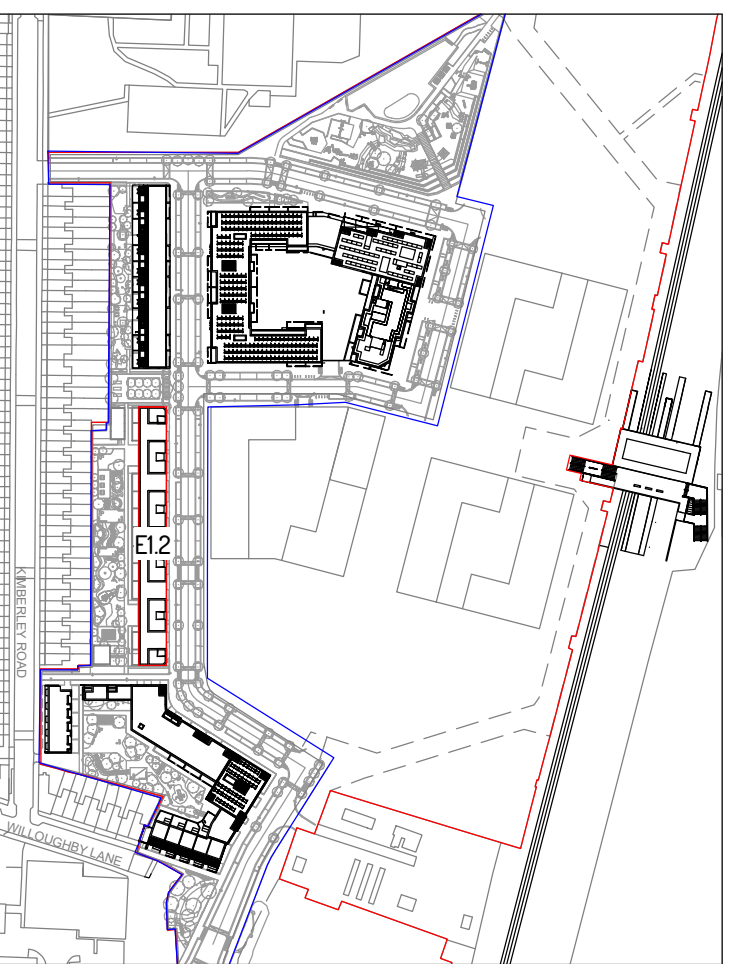
Key

--- OPP Maximum Height Parameter



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Rev	Description	Date
P4	Issued for Planning	20.10.20
P5	Issued for Planning	22.03.21



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Project
Meridian One

Drawing Title
Plot E1.2 - Building Elevations
Phase 1A

Date 22/03/21	Scale 1:100
Drawn By YC	Checked By RF
Job No. J20010	Purpose of Issue Planning
Drawing Number M0-FCA-E1-2-XX-DR-A-08-2010	Revision P5

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1 GA North Elevation
1 : 100



2 GA East Elevation
1 : 100



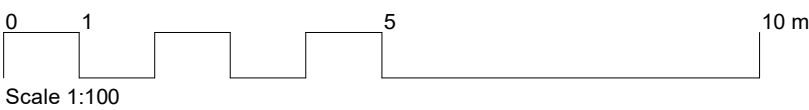
3 GA South Elevation
1 : 100



4 GA West Elevation
1 : 100

MATERIAL KEY

01. Brick 1 – Waterstruck Buff brick in stretcher bond (light)
02. Brick 2 - Waterstruck Buff brick stepped reveal detail
03. Brick 3 - Heritage inspired multi-stock brick in stretcher bond
04. Stone – Pigmented reconstituted cast stone - colour: Bathstone
05. Polyester Power Coated bronze aluminium composite double glazed windows and doors
06. Polyester Power Coated bronze aluminium flat panel entrance doors with side light
07. Polyester Power Coated bronze aluminium zig-zag railing
08. Standing seam bronze effect zinc roof
09. Perforated Polyester Power Coated bronze aluminium to bin and bike store walls and doors
10. Square section Polyester Power Coated bronze aluminium rainwater pipes to brick recess
11. Polyester Power Coated bronze aluminium coping flashing



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Rev	Description	Date
P1	For Review	25.09.20
P2	Planning	02.10.20
P3	For Review	14.10.20
P4	Planning	21.10.20



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Drawing
Plot E2.3B GA Elevations

Scale @ A1
1 : 100

Date
25/09/20

Drawn By
AW

Checked By
AW

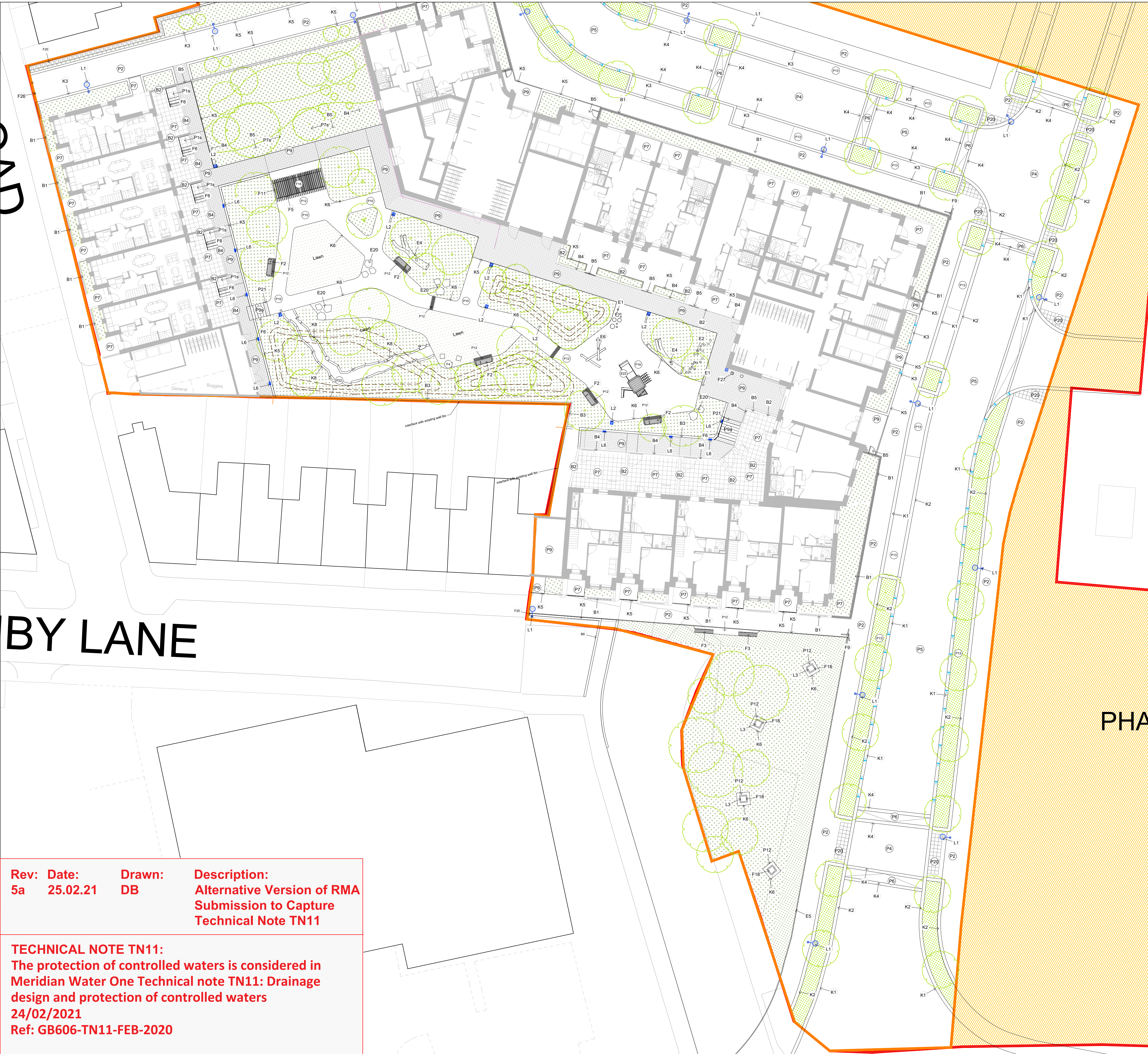
Job Number
19062

Status
A2

Purpose of Issue
Planning

Drawing No.
MO-HBA-E2-3B-XX-DR-A-08-6300P4

Rev



Notes:

- All drawings to be read in conjunction with Architects drawings.
- Refer to MLM for all external lighting information.
- Refer to Walsh for above ground drainage and all services
- Refer to Walsh drawings for below ground drainage
- All levels indicative of existing and adjoining. Refer to Walsh drawings for highways / civil's levels

LEGEND

Phase 1A boundary

Site boundary

Proposed tree

Planting refer to Planting plans

Hardscape

- P1 Natural stone paver - station square
- P2 Concrete paver - footway
- P3 Natural stone paver - footway
- P4 Concrete paver - raised tables
- P5 Concrete paver - shared surfaces
- P6 Natural stone setts - carriageway ramps
- P7 Clay pavers - residential dwellings
- P7s - Steps
- P8 Mulch - loose laid
- P9 Clay paver - communal routes
- P9s - Steps
- P10 Resin bound gravel - pathways
- P11 Tiger mulch - soft play
- P12 Reclaimed cobbles - communal gardens
- P13 Permeable block paver - parking bays
- P14 Porcelain tiles
- P15 Clay pavers
- P16 Wetpour safety surfacing
- P17 Timber sleeper
- P18 Self binding gravel
- P19 Stepping stones
- P20 Tactile blister paving
- P21 Tactile corduroy paving
- P22 Insitu concrete steps

Edgings

- K1 Upstand kerb - Granite - 350mm wide
- K2 Flush kerb - granite - 350mm wide
- K3 Upstand kerb - granite - 250mm wide
- K4 Flush kerb - granite - 250mm wide
- K5 Pin kerb - concrete - 63mm wide
- K6 Aluminium edge - 75x150mm
- K7 Timber edge - 150 x 25 mm
- K8 Log edge - reclaimed

Walls and Railings

- B1 Brick wall - 300mm height + railing
- B2 Brick wall - 1200mm height
- B3 Brick wall - 1800mm height
- B4 Railing - 1100mm height
- B5 Metal gate - height varies
- B6 Gabion wall - height varies
- B7 Play area fence and gate - 1500mm ht
- B8 Railing fence and gate - 1800mm ht

Site Fixtures

- F1 Timber seating bench (double beam)
- F2 Timber slat bench
- F3 Timber slat seating top
- F4 Timber slat cube
- F5 Picnic table and benches
- F6 Flat bar handrail
- F7 Litter bins
- F8 Bollard
- F9 Finger post
- F10 Drinking fountain
- F11 Cycle stand
- F12 Bird boxes
- F13 Bug hotel
- F14 Log pile
- F15 Allotment planter
- F16 Pergola
- F17 Bespoke cycle shelter
- F18 Obelisk
- F19 Ventilation gratings
- F20 Entrance sign
- F21 Compost bins
- F22 Community building
- F25 Cycle maintenance tools and stand

Levels and drainage

- 3.89 Existing Levels
- 4.50 Proposed Levels
- 1:40 Gradient
- Contours
- Kerb Drain
- Gully location indicative

Play equipment

- E1 Stepping disc logs
- E2 Stepping logs
- E3 Balance beam
- E4 Play tree
- E5 Oak tree tunnel
- E6 Natural log play frame
- E7 Balance log
- E8 Willow den
- E9 Double combination swing
- E10 Wizard hideout
- E11 Wobble bridge
- E12 Chimes
- E13 Double swing
- E14 Jumper
- E15 Tunnel slide
- E16 Wobble bridge
- E17 Talk tubes
- E18 Stone feature sculpture
- E19 Wobble dish
- E20 Stone play boulders
- E21 Bridge
- E22 Climbing frame
- E23 Turning tyres
- E24 Teepee
- E25 Large spinner
- E26 Medium spinner
- E27 Climbing frame
- E28 Climbing tree

Lighting - Indicative

- L1 Column light subject to Lux levels
- L2 Downlit bollard
- L3 Tree uplighter - hard
- L4 Tree uplighter - soft
- L5 Downlit bollard low
- L6 Wall luminaire
- L7 Downlit bollard industrial
- L8 Column light wooden clad
- L9 Car charging point

NORTH

0 1 2 3 4 5 6 7 8 9 10

Refer to Landscape Outline Specification for details of all hard landscape, furniture and play elements.

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2	02.10.20	IH	Revised issue for information
1	25.09.20	IH	Revised draft issue for information
-	11.09.20	IH	First draft issue for information

Rev

Date

Drawn

Description

status

FOR PLANNING

client / project

Vistry Partnerships
MERIDIAN ONE PHASE 1A

drawing title

General Arrangement plan 5 of 5

drawing number

GAL-MER HTA-L 1A DR 1905

scale @ A1

1:200

originated by

IH

revision

5

project code

GAL-MER

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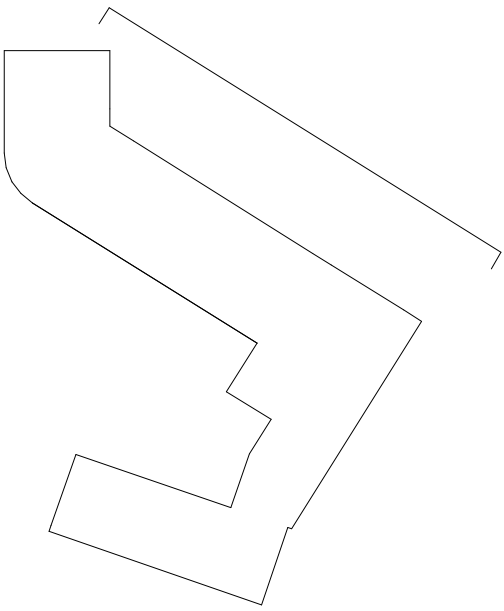
Manchester

Bristol

hta



KEY PLAN



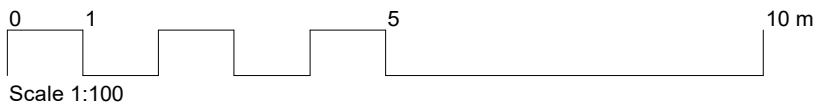
MATERIAL KEY

1. Brick / Stone

- 1A. Brick 1 - Multi-stock Cream Buff brick in stretcher bond
- 1B. Brick 2 - Smooth Cream Buff brick in stretcher bond
- 1C. Brick 2 - Smooth Cream Buff brick soldier course
- 1D. Brick 2 - Smooth Cream Buff brick parapet detail
- 1E. Brick 2 - Smooth Cream Buff brick ground floor banding detail
- 1F. Brick 2 - Smooth Cream Buff brick window surround detail
- 1G. Multi-stock Cream Buff and Smooth Cream Buff soldier course 'Corduroy' brick detail
- 1H. Yellow glazed bricks
- 1I. Yellow glazed and Smooth Cream Buff stretcher bond brick pattern
- 1J. Cream/Beige reconstituted cast stone
- 1K. Cream/Beige reconstituted cast stone banding
- 1L. Olive Green aluminium panels

2. Balconies / Windows / Doors



- 2A. Multi-stock Cream Buff and Smooth Cream Buff soldier course 'Corduroy' brick balustrade with Polyester Powder Coated Olive Green metal railing
- 2B. Olive Green Polyester Powder Coated balustrade
- 2C. 300mm Multi-stock Cream Buff brick wall in stretcher bond with Olive Green Polyester Powder Coated railing
- 2D. Unitised glazing system with Olive Green Polyester Powder Coated metal window frames
- 2E. Olive green spandrel panels
- 2F. Olive green Polyester Powder Coated glazed lobby entrance doors
- 2G. Olive green Polyester Powder Coated aluminium balcony doors
- 2H. Louvred Olive Green Polyester Powder Coated metal service doors
- 2I. Polyester Powder Coated metal railing (maintenance)
- 2J. Olive green Polyester Powder Coated metal flat entrance doors
- 2K. Olive green painted house entrance doors
- 2L. External RWP
- 2M. Olive green Polyester Powder Coated metal gate to bike store



Rev	Description	Date
P01	Stage 2 Issue	07/09/20
P02	Draft RMA Issue	11/09/20
P03	Issue to Meridian Water Team	25/09/20
P04	Issue to CBRE Planning Consultant	02/10/20
P05	Draft Planning Issue	20/10/20
P06	Final Planning Issue	21/10/20
P07	Updates in accordance with LPA comments	10/10/20
P08	Updated inline with clients comments	18/11/20
P09	Changed brick colour, reduced the height of the parapet above the entrance and changed the brick pattern	19/03/21

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Scale @ A1 1:100	Date 11/09/20	Job Number GTP-MER	Project Meridian One LB Enfield	  HTA Design LLP www.hta.co.uk London Edinburgh Manchester Bristol
Drawn By MWI	Checked By ELS	Status A2		
Drawing No. GTP-MER-HTA-E2-ZZ-DR-A-08-2111	Rev P09	Purpose of Issue Planning	Drawing E2 Northeast Elevation	



MATERIAL KEY

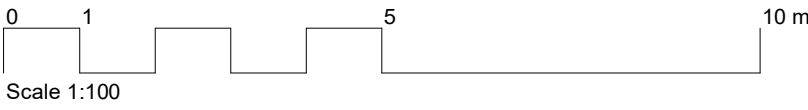
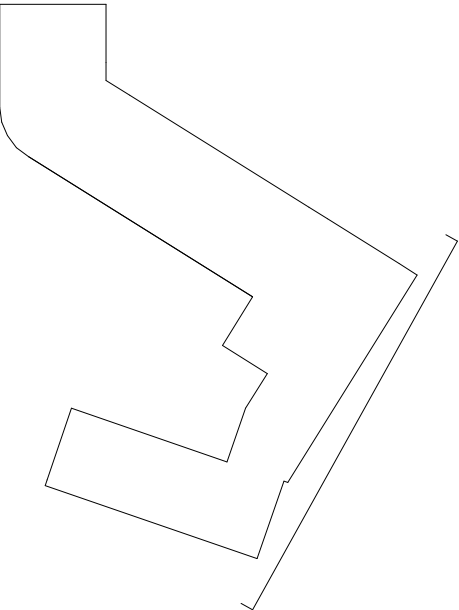
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2. Balconies / Windows / Doors

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2D. Unitised glazing system with Olive Green Polyester Powder Coated metal window frames
2E. Olive green spandrel panels
2F. Olive green Polyester Powder Coated glazed lobby entrance doors
2G. Olive green Polyester Powder Coated aluminium balcony doors
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2K. Olive green painted house entrance doors
2L. External RWP
2M. Olive green Polyester Powder Coated metal gate to bike store

KEY PLAN



Rev	Description	Date
P01	Stage 2 Issue	07/09/20
P02	Draft RMA Issue	11/09/20
P03	Issue to Meridian Water Team	25/09/20
P04	Issue to CBRE Planning Consultant	02/10/20
P05	Draft Planning Issue	20/10/20
P06	Final Planning Issue	21/10/20
P07	Internal arrangements updated and 385P Type 1 updated	29/10/20
P08	Updates in accordance with LPA comments	10/10/20
P09	Updated inline with clients comments	18/11/20
P010	Increased window sizes, added secondary entrance to the corner terraced house, relocated the entrance to the GF 1b2p WCH unit, changed brick colour	11/03/21

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Scale @ A1 1:100	Date 09/04/20	Job Number GTP-MER	Project Meridian One LB Enfield
Drawn By MWI	Checked By ELS	Status A2	
Drawing No. GTP-MER-HTA-E2-ZZ-DR-A-08-2112	Rev P010	Purpose of Issue Planning	Drawing E2 Southeast Elevation



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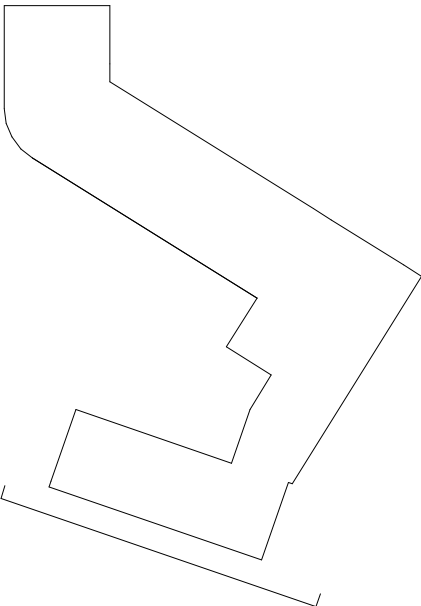
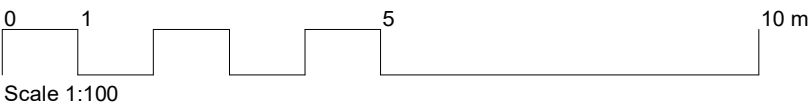
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KEY PLAN

Rev	Description	Date
P01	Stage 2 Issue	07/09/20
P02	Draft RMA Issue	11/09/20
P03	Issue to Meridian Water Team	25/09/20
P04	Issue to CBRE Planning Consultant	02/10/20
P05	Draft Planning Issue	20/10/20
P06	Final Planning Issue	21/10/20
P07	Updates in accordance with LPA comments	10/10/20
P08	Updated inline with clients comments	18/11/20
P09	Changed brick colour	11/03/21

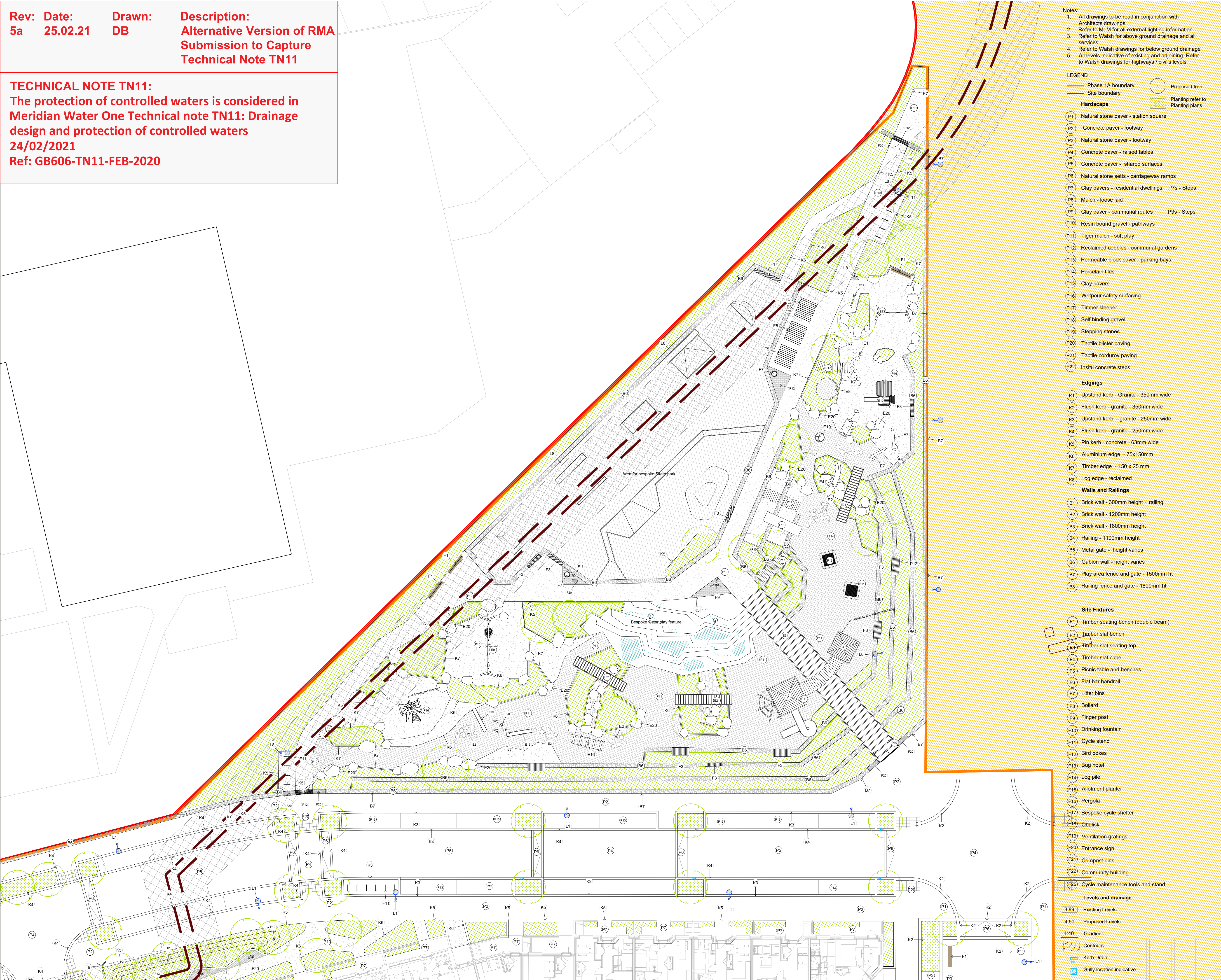
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Scale @ A1 1:100	Date 11/09/20	Job Number GTP-MER	Project Meridian One LB Enfield	  HTA Design LLP www.hta.co.uk London Edinburgh Manchester Bristol
Drawn By MWI	Checked By ELS	Status A2		
Drawing No. GTP-MER-HTA-E2-ZZ-DR-A-08-2113	Rev P09	Purpose of Issue Planning	Drawing E2 South Elevation	

Rev: 5a Date: 25.02.21 Drawn: DB Description: Alternative Version of RMA Submission to Capture Technical Note TN11

TECHNICAL NOTE TN11:
The protection of controlled waters is considered in Meridian Water One Technical note TN11: Drainage design and protection of controlled waters
24/02/2021
Ref: GB606-TN11-FEB-2020



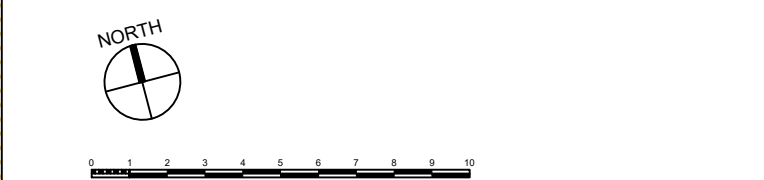
Notes:
1. All drawings to be read in conjunction with Architects drawings.
2. Refer to MLM for all external lighting information.
3. Refer to Walsh for above ground drainage and all services
4. Refer to Walsh drawings for below ground drainage
5. All levels indicative of existing and adjoining. Refer to Walsh drawings for highways / civil's levels

LEGEND
Phase 1A boundary
Site boundary
Hardscape
Natural stone paver - station square
Concrete paver - footway
Natural stone paver - footway
Concrete paver - raised tables
Concrete paver - shared surfaces
Natural stone setts - carriageway ramps
Clay pavers - residential dwellings P7s - Steps
Mulch - loose laid
Clay paver - communal routes P9s - Steps
Resin bound gravel - pathways
Tiger mulch - soft play
Reclaimed cobbles - communal gardens
Permeable block paver - parking bays
Porcelain tiles
Clay pavers
Wetpour safety surfacing
Timber sleeper
Self binding gravel
Stepping stones
Tactile blister paving
Tactile corduroy paving
In situ concrete steps
Edgings
Upstand kerb - Granite - 350mm wide
Flush kerb - granite - 350mm wide
Upstand kerb - granite - 250mm wide
Flush kerb - granite - 250mm wide
Pin kerb - concrete - 63mm wide
Aluminium edge - 75x150mm
Timber edge - 150 x 25 mm
Log edge - reclaimed
Walls and Railings
Brick wall - 300mm height + railing
Brick wall - 1200mm height
Brick wall - 1800mm height
Railing - 1100mm height
Metal gate - height varies
Gabion wall - height varies
Play area fence and gate - 1500mm ht
Railing fence and gate - 1800mm ht
Site Fixtures
Timber seating bench (double beam)
Timber slat bench
Timber slat seating top
Timber slat cube
Picnic table and benches
Flat bar handrail
Litter bins
Bollard
Finger post
Drinking fountain
Cycle stand
Bird boxes
Bug hotel
Log pile
Allotment planter
Entrance sign
Compost bins
Community building
Cycle maintenance tools and stand
Levels and drainage
Existing Levels
Proposed Levels
Gradient
Contours
Kerb Drain
Gully location indicative

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- Play equipment**
- E1 Stepping disc logs
 - E2 Stepping logs
 - E3 Balance beam
 - E4 Play tree
 - E5 Oak tree tunnel
 - E6 Natural log play frame
 - E7 Balance log
 - E8 Willow den
 - E9 Double combination swing
 - E10 Wizard hideout
 - E11 Wobble bridge
 - E12 Chimes
 - E13 Double swing
 - E14 Jumper
 - E15 Tunnel slide
 - E16 Wobble bridge
 - E17 Talk tubes
 - E18 Stone feature sculpture
 - E19 Wobble dish
 - E20 Stone play boulders
 - E21 Bridge
 - E22 Climbing frame
 - E23 Turning tyres
 - E24 Teepee
 - E25 Large spinner
 - E26 Medium spinner
 - E27 Climbing frame
 - E28 Climbing tree

- Lighting - Indicative**
- L1 Column light subject to Lux levels
 - L2 Downlit bollard
 - L3 Tree uplighter - hard
 - L4 Tree uplighter - soft
 - L5 Downlit bollard low
 - L6 Wall luminaire
 - L7 Downlit bollard industrial
 - L8 Column light wooden clad
 - L9 Car charging point



5	04.11.20	IH	Revised issue for RMA submission
4	21.10.20	IH	Issued for RMA submission
3	18.10.20	IH	Revised issue for Planning
2	02.10.20	IH	Revised issue for information
1	25.09.20	IH	Revised draft issue for information
-	11.09.20	IH	First draft issue for information
Rev	Date	Drawn	Description
status			
FOR PLANNING			
client / project			
Vistry Partnerships			
MERIDIAN ONE PHASE 1A			
drawing title			
General Arrangement plan 1			
of 5			
drawing number			
GAL-MER HTA-L 1A DR 1901			
scale @ A1			
1:200			
HTA Design LLP			
www.hta.co.uk			
London Edinburgh Manchester Bristol			
revision			
5			
project code			
GAL-MER			
hta			

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Rev	Description	Date
P1	For Review	25.09.20
P2	Planning	02.10.20
P3	Planning	21.10.20
P4	Planning	09.11.20



1 1503 Sitewide GA East Elevation Plot E
1 : 500



159 St John Street
London EC1V 4QJ
mail@hawkinsbrown.com
hawkinsbrown.com

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Project
Meridian One
LB Enfield

Drawing
Sitewide East Elevation Plot E

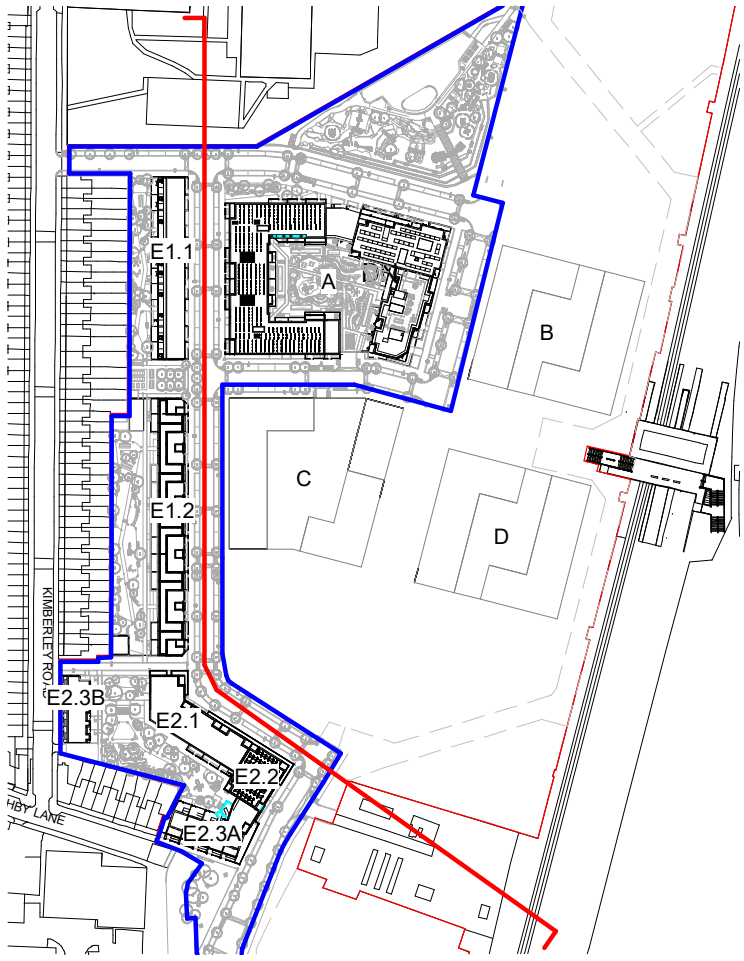
Scale @ A1 As indicated	Date 25/09/20
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Drawn By NF	Checked By NF
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Job Number 19062	Status A2	Purpose of Issue Planning
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Drawing No. MO-HBA-ZZ-XX-DR-A-08-1503	Rev P4
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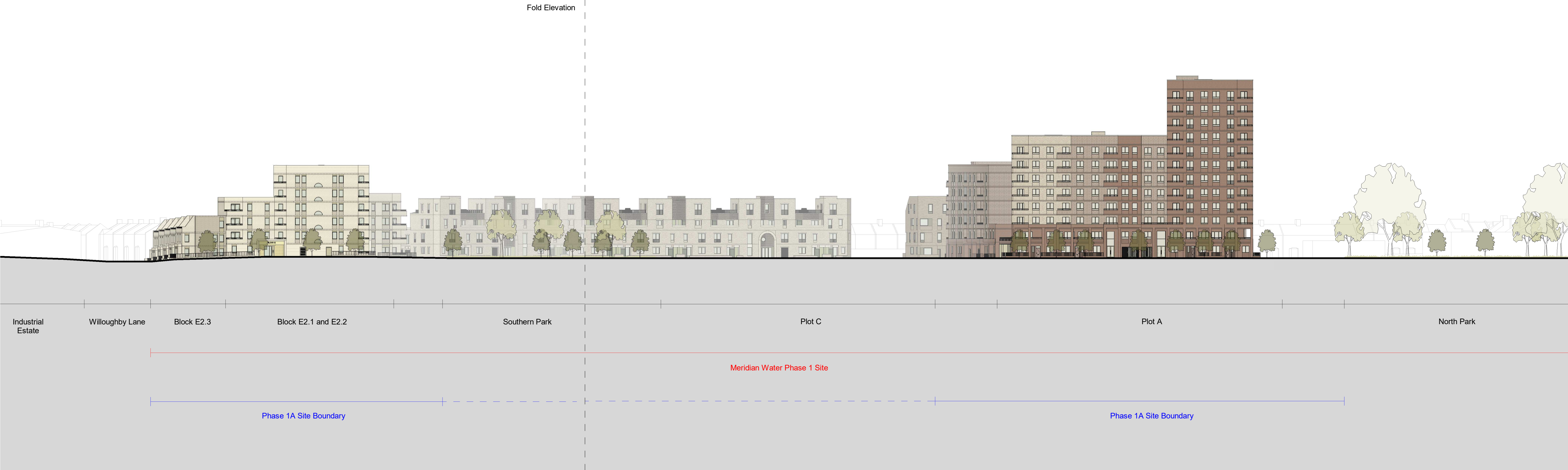
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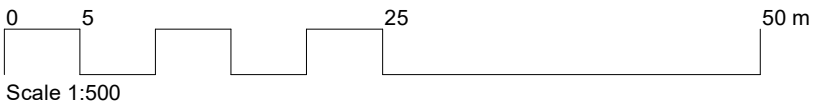
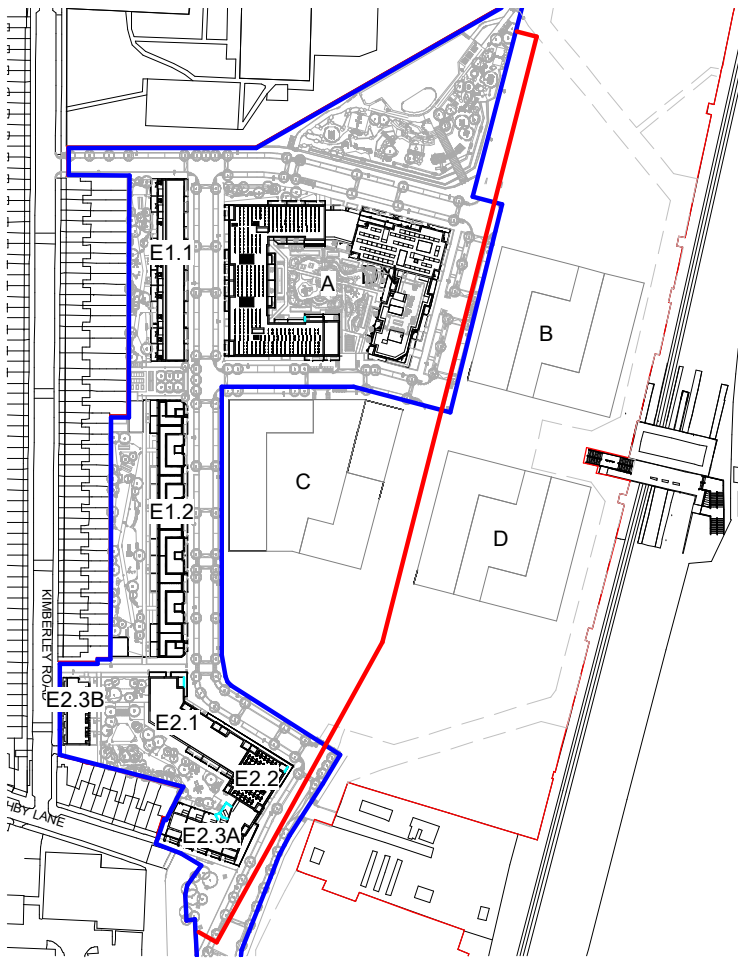
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Rev	Description	Date
P1	For Review	25.09.20
P2	Planning	02.10.20
P3	Planning	21.10.20
P4	Planning	09.11.20



1 1504 Sitewide GA South East Elevation Plot E and Plot A
1 : 500

Key



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London EC1V 4QJ
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Project
Meridian One
LB Enfield

Drawing
Sitewide East Elevation Plot E
and Plot A

Scale @ A1 As indicated		Date 25/09/20
Drawn By NF		Checked By NF
Job Number 19062	Status A2	Purpose of Issue Planning
Drawing No. MO-HBA-ZZ-XX-DR-A-08-1504		Rev P4